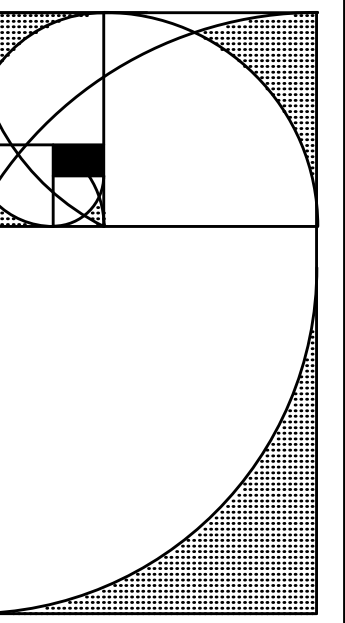


RENOVATION AND REMODEL LITTLETON PUBLIC SCHOOLS TRANSPORTATION SERVICE CENTER

50% CONSTRUCTION DOCUMENTS

MAY --, 2014



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RENOVATION FOR:
LITTLETON PUBLIC SCHOOLS
TRANSPORTATION SERVICE CENTER
5565 S. CROCKER ST
LITTLETON, COLORADO 80120

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INSTRUMENTS
OF SERVICE

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DATE:
PROJECT NO: 14101B
ISSUE:
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CONSTRUCTION
DOCUMENTS

DRAWN: KS-LZ
CHECKED: RET
FILE NAME:
G1.1_COVER

DWG NAME:
COVER SHEET

SHEET NO:
G1.1

SYMBOLS

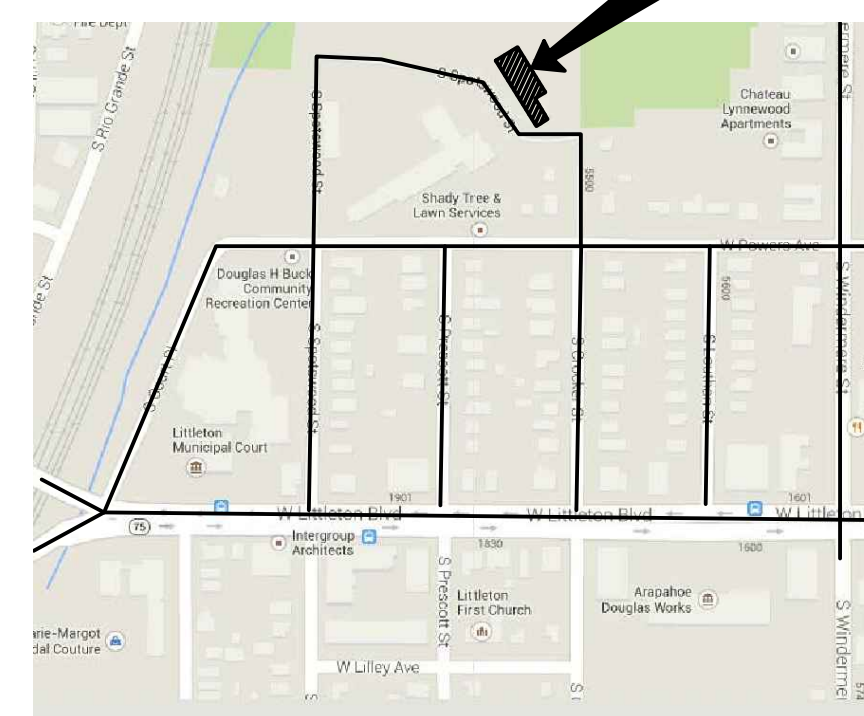
	ASPHALT
	EARTH
	GRAVEL
	PLASTER OR STUCCO
	STEEL
	STRUCTURAL WOOD
	FINISHED WOOD
	WOOD BLOCKING
	PLYWOOD
	BRICK
	CMU
	BATT INSULATION
	RIGID INSULATION
	CONCRETE
	METAL STUD PARTITION
	FINISH CONTOURS
	EXISTING CONTOURS
	FINISH ELEVATION
	EXISTING ELEVATION
	NATURAL GAS LINES
	SANITARY SEWER
	STORM SEWER
	WATER LINES
	BURIED ELECTRIC
	BURIED TELEPHONE
	SOIL TEST HOLE
	DOOR NUMBER
	WINDOW TYPE
	HOLLOW METAL FRAME TYPE
	FINISH DESIGNATION
	BUILDING ELEVATION
	INTERIOR ELEVATION
	SECTION LETTER
	SHEET NUMBER
	DETAIL NUMBER
	SHEET NUMBER
	THERMOSTAT CONTROL

ABBREVIATIONS

A.B.	ANCHOR BOLT	GA.	GAUGE	R.A.	RETURN AIR
A.C.T.	ACOUSTICAL CEILING TILE	GA.LV.	GALVANIZED	REIN.	REINFORCING
A.F.F.	ABOVE FINISH FLOOR	G.C.	GENERAL CONTRACTOR	REC.	RECESSED
ALT.	ALTERNATE	GEN.	GENERAL	R.B.	RUBBER BASE
ALUM.	ALUMINUM (AL)	G.I.	GALVANIZED IRON	R.D.	ROOF DRAIN
ADJ.	ADJUSTABLE	GR.	GRADE	REQ'D.	REQUIRED
ASPH.	ASPHALT	GL.	GLASS	REL.	RELIEVED
ANCH.	ANCHOR (ANG)	GYP BD	GYPSUM BOARD	RM.	ROOM
ARCH.	ARCHITECTURAL	G.B.	GRAB BAR	R.S.T.	RUBBER STAIR TREAD
		G.D.	GARBAGE DISPOSAL	R.O.	ROUGH OPENING
				Ø	REFERENCE (REF)
				RE.	REFERENCE (REF)
B. TO B.	BACK TO BACK	H.B.	HARDBOARD	S.A.T.	SUSPENDED ACOUSTIC TILE
BD.	BOARD	H.B.	HOSE BIBB	S.P.M.R.	SINGLE PLY MEMBRANE ROOFING
BL.	BRICK LEDGE	H.G.	HANDICAP	S.A.P.	SOUND ADSORBENT PANEL
BLDG.	BUILDING (BLD)	H.C.	HARDENED CONCRETE	S.A.C.	SUSPENDED ACOUSTICAL CEILING
BLCK.	BLOCKING (BLK)	H.C.	HOLLOW CORE	S.G.	SOLID GORE
BM.	BEAM	H.W.D.	HARDWOOD	S.F.C.	SYNTHETIC FLOOR COVERING
B.N.	BULL NOSE	HST.	HEIGHT (HT)	S.G.	SAFETY GLASS
BR.	BRICK (BRK)	HM	HOLLOW METAL	S.M.	SHEET METAL
BRG.	BEARING	H.P.	HARD PLASTER	SPEC.	SPECIFICATION
B.U.	BUILT-UP	HORIZ.	HORIZONTAL	S.R.	SOUND RETARDANT
B.O.	BY OWNER	H.LDR.	HOLDER	S.S.	SERVICE SINK
BOT.	BOTTOM (BTM)	I.S.U.	INSULATED GLASS UNIT	S.S.	STAINLESS STEEL
BETWN.	BETWEEN	INSUL.	INSULATION	STL.	STEEL
		INT.	INTERIOR	SPA.	SPACE
(C)	WORK TO BE PERFORMED BY CONTRACTOR	I.P.	INSULATED PANEL	STOR.	STORAGE (STO)
CAB.	CABINET	I.D.	INSIDE DIAMETER	STR.	STRUCTURAL (STRUC)
CB.	CHALKBOARD	INV.	INVERT	S.T.G.	SAFETY WIRE GLASS
C.M.U.	CONCRETE MASONRY UNIT	JT.	JOINT (JNT)	SM.	SIMILAR
CLG.	CEILING	JST.	JOIST	S.M.S.	SMOKE / DRAFT STOP
COL.	COLUMN	LAM.	LAMINATE	S.G.T.	STR. GLAZED TILE
CONC.	CONCRETE	L.W.	LIGHT WEIGHT	SECT.	SECTION
CONSTR.	CONSTRUCTION (CONSTR)	L.T. MT.	LIGHT TIGHT	SHG.	SHEATHING
CONT.	CONTINUOUS	L.C.S.	LIQUID CHALK SURFACE	S.F.	SQUARE FOOT
CORR.	CORRIDOR	MAS.	MASONRY	SUSP.	SUSPENDED
CPT.	CARPET	MAT.	MATERIAL (MATL)	SYS.	SYSTEM
C.T.	CERAMIC TILE	M.H.	MAN HOLE	T.S.	TUBE STEEL
C.T.C.	CERAMIC TILE COVE	M.I.	MIRROR	T.B.	TACK BOARD
CL.	CENTERLINE	M.C.	METAL (MET)	T.C.	TEACHER CABINET
CHAN.	CHANNEL	M.C.	MEDICINE CABINET	T.S.	TILE STORAGE
CH.	CHANCE	MED.	MEDIUM	TERR.	TERRAZZO
C.G.	COUNTER SINK	M.G.	MAXIMUM	T.I.	TACKABLE INTERIOR PANEL
C.T.	COUNTER TOP	MECH.	MECHANICAL	T.J.	TOOLED JOINT
		MIN.	MINIMUM	T.O.B.	TOP OF CONC. (TC)
DN.	DOWN	N.I.C.	NOT IN CONTRACT	T.O.H.	TOP OF MASONRY (TM)
DTL.	DETAIL	N.S.	NON SLIP	T.P.S.	TEMPERED PLATE GLASS
D.F.	DRINKING FOUNTAIN	NO.#	NUMBER	TRANS.	TRANSFORMER
DIA.	DIAMETER	N.F.R.	NO FINISH REQUIRED	TYP.	TYPICAL
DIS.	DRAINOUT	NTS.	NOT TO SCALE	T.O.F.	TOP OF FOOTING
DNS.	DRAWING	(O)	WORK TO BE PERFORMED BY OWNER	T.O.W.	TOP OF WALL (TW)
DBL.	DOUBLE	O.H.	OPPOSITE HAND	THK.	THICK
DM.	DIMENSION	OPNS.	OPENINGS (OPG)	THRU.	THROUGH
		OPP.	OPPOSITE	TTT.	TRIPLE TEE
		O.W.B.	OBSCURE WIRE GLASS	U.V.	UNIT VENTILATOR
		O.C.	ON CENTER	UNG.	UNLESS NOTED OTHERWISE
		O.T.C.	OUT TO OUT	V.B.	VAPOR BARRIER
		O.F.R.D.	OVER FLOW ROOF DRAIN	VAR.	VARIES
		P.LAM.	PLASTIC LAMINATE	V.C.T.	VENTED COVE BASE
		POL.	POLISH	V.T.R.	VENT THROUGH ROOF
		PO.	PARTICLE	VERT.	VERTICAL
		PART.	PARTITION	V.C.B.	VINYL COMPOSITION TILE
		PARTY BD.	PARTICLE BOARD	V.B.	VINYL BASE
		P.B.	FIRE BUMPER		
		P.B.	FIRE BUMPER		
		P.C.	PRE CAST		
		P.C.C.	PRE CAST CONCRETE		
		P.J.	PLUMB JOINT		
		P.LAM.	PLASTIC LAMINATE		
		PL.	PLATE		
		PL.	PLASTIC		
		PLB.G.	PLUMBING		
		FR.	PROPERTY LINE		
		P.L.	PAINT		
		PT.	PANEL		
		P.N.L.	PANTRY		
		P.T.D.	PAINTED		
		Q.T.	QUARRY TILE COVE		
		Q.T.C.	QUARRY TILE COVE		

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E3.2	UPPER LEVEL LIGHTING PLAN
T.S.	TUBE STEEL
T.B.	TACK BOARD
T.C.	TEACHER CABINET
T.S.	TILE STORAGE
TERR.	TERRAZZO
T.I.	TACKABLE INTERIOR PANEL
T.J.	TOOLED JOINT
T.O.B.	TOP OF CONC. (TC)
T.O.H.	TOP OF MASONRY (TM)
T.P.S.	TEMPERED PLATE GLASS
TRANS.	TRANSFORMER
TYP.	TYPICAL
T.O.F.	TOP OF FOOTING
T.O.W.	TOP OF WALL (TW)
THK.	THICK
THRU.	THROUGH
TTT.	TRIPLE TEE
U.V.	UNIT VENTILATOR
UNG.	UNLESS NOTED OTHERWISE
V.B.	VAPOR BARRIER
VAR.	VARIES
V.C.T.	VENTED COVE BASE
V.T.R.	VENT THROUGH ROOF
VERT.	VERTICAL
V.C.B.	VINYL COMPOSITION TILE
V.B.	VINYL BASE
W.	WOOD
WTR.	WATER
W.H.	WATER HEATER
W.G.	WIRE GLASS
W.M.F.	WELDED WIRE FABRIC
W.M.	WIRE MOUND



1 LOCATION MAP
SCALE: NTS

CODE DATA

APPLICABLE CODES	
Building Code:	IBC 2006 Third Printing: March 2007
Mechanical Code:	IMC 2006 Second Printing: December 2007
Plumbing Code:	IPC 2009 First Printing: January 2009
Electrical Code:	NEC 2008
Fire Code:	FC 2006 Third Printing: April 2007
International Energy Conservation Code:	IECC 2006 First Printing: January 2007
International Existing Building Code:	IEBC 2006 First Printing: January 2007

USE GROUP & OCCUPANCY KEY			
OCCUPANCY	S.1 - STORAGE	B - BUSINESS	

CODE ITEM REFERENCE	AREA OF BUILDING	CODE REQUIREMENT	PROPOSED DESIGN
OCCUPANCY	EXISTING	S-1, B.	UNCHANGED
OCCUPANCY SEPARATIONS	EXISTING	NOT NECESSARY	UNCHANGED
CONSTRUCTION TYPE	ENTIRE BUILDING	III-B	UNCHANGED
ALLOWABLE AREAS EXISTING TO REMAIN	ALLOWABLE AREAS/ FLOOR 1ST FLOOR S.1 OCCUPANCY 17,500 SF 2ND FLOOR B OCCUPANCY 19,000 SF	ALLOWABLE AREAS/ FLOOR 1ST FLOOR S.1 OCCUPANCY 17,500 SF 2ND FLOOR B OCCUPANCY 19,000 SF	UNCHANGED UNCHANGED
BUILDING AREAS EXISTING TO REMAIN	1ST FLOOR S.1 OCCUPANCY 10,634 SF 2ND FLOOR B OCCUPANCY 14,730 SF TOTAL	EXISTING AREA 10,634 SF 4,096 SF 14,730 SF	UNCHANGED UNCHANGED UNCHANGED
FIRE AREA SEPARATIONS	NONE REQUIRED	NONE REQUIRED	UNCHANGED
FIRE PARTITIONS CORRIDORS	CORRIDORS	1 HOUR REQUIRED	UNCHANGED
FIRE RESIST RATINGS		III-B NON SPRINKLED	III-B NON SPRINKLED
STRUCTURAL FRAME EXTERIOR BEARING INTERIOR BEARING NON-BEARING PERM PARTITIONS FLOOR FLOOR/CLG ROOF ROOF/CLG SHAFT ENCLOSURES		0 HR RATED 2 HR RATED 0 HR RATED 0 HR RATED 0 HR RATED 0 HR RATED 0 HR RATED	UNCHANGED UNCHANGED UNCHANGED UNCHANGED UNCHANGED UNCHANGED
NUMBER OF STORIES	ENTIRE BUILDING	3 STORY ALLOWED	2 STORY ACTUAL
BUILDING HEIGHT	ENTIRE BUILDING	26 FT	EXISTING UNCHANGED
FIRE SPRINKLER	ENTIRE BUILDING	NON SPRINKLED	NO CHANGE IN OCCUPANT/FIRE LOAD
FIRE DETECTION SYSTEM			UNCHANGED
PLUMBING FIXTURES 1ST FLOOR S.1 OCCUPANCY		25 MEN W.C. URINALS LAVS 0 1	25 MEN W.C. URINALS LAVS 0 1
		25 WOMEN W.C. LAVS 1 1	25 WOMEN W.C. LAVS 1 1
2ND FLOOR B OCCUPANCY		DRINKING FOUNTAINS 1 1	DRINKING FOUNTAINS 1 1
		48 MEN W.C. URINALS LAVS 1 2	48 MEN W.C. URINALS LAVS 2 2
		48 WOMEN W.C. LAVS 2 2	48 WOMEN W.C. LAVS 2 2
		DRINKING FOUNTAINS 1 1	DRINKING FOUNTAINS 2 2

OCCUPANCY LOAD CALCULATION EXISTING BUILDING			
First Floor	SF / Occupant	SF	Occupant load
Occupancy S.1			
Manufacturing (repair shop)	200 Gross	7,717	38.58
Business Area (office)	100 Gross	308	3.08
Locker Room	50 Gross	78	1.56
Storage / Equipment Rooms	300 Gross	1,820	6.06
First Floor Total			49.28
Second Floor	SF / Occupant	SF	Occupant load
Occupancy B			
Business Area (office)	100 Gross	1,201	12.01
Educational (Classrooms)	20 Net	1,650	82.50
Storage / Equipment Rooms	300 Gross	384	1.28
Second Floor Total			95.79

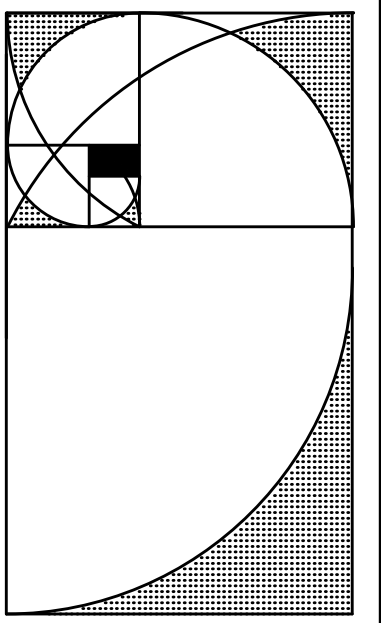
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FAX: (303) 985-5565

PLUMBING
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FAX: (303) 934-3299



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DATE:
 PROJECT NO: 14101B
 ISSUE:

50%
 CONSTRUCTION DOCUMENTS

DRAWN: BSK/HJE
 CHECKED: RET
 FILE NAME: SD1.1

DWG NAME:
SITE PLAN

SHEET NO:
SD1.1

GENERAL NOTES: ALL SITE PLANS

1. SITE UTILITIES SHOWN ARE BASED ON BEST AVAILABLE DATA PROVIDED TO THE ARCHITECT. IT IS BELIEVED THAT ADDITIONAL UTILITY LINES EXIST THAT ARE NOT MARKED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO COMMENCING ANY WORK ON SITE. CONTACT UNCC (UTILITY NOTIFICATION CENTER OF COLORADO) 1-800-922-1987 48 HOURS BEFORE START OF EARTHWORK.
2. CONTRACTOR TO LIMIT AREA OF OPERATION AS DEFINED ON THE SITE PLAN, DEMOLITION PLAN AND GRADING PLAN. CONTRACTORS ENTIRE AREA OF OPERATION TO BE FENCED AND SECURED.
3. CONTRACTOR TO PROTECT ALL ITEMS SHOWN AS (E) TO REMAIN. ANY DAMAGE TO THESE ITEMS ARE TO BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. EXISTING SITE INFORMATION IS BASED ON FIELD SURVEYS PROVIDED BY OTHERS. NO GUARANTEE IS MADE OR IMPLIED IN REFERENCE TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION.
5. COORDINATE DELIVERY OF ALL ITEMS NOTED TO BE SALVAGED TO OWNER.
6. THE CONTRACTOR SHALL ENDEAVOR NOT TO DAMAGE THE EXISTING SURFACES OF STREETS, DRIVES, WALKS, LAWNS AND PARKING LOTS DURING CONSTRUCTION. IF DAMAGED CONTRACTOR SHALL REPAIR OR REPLACE THE EXISTING SURFACES TO THEIR ORIGINAL CONDITION AT NO COST TO THE OWNER.
7. CONTRACTOR TO RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER. CONTRACTOR TO DOCUMENT AND ESTABLISH RECORD OF CURRENT CONDITIONS OF SITE AND STRUCTURES PRIOR TO COMMENCING ANY WORK ON SITE.

◇ DEMO KEY NOTES: AT SITE PLAN ONLY

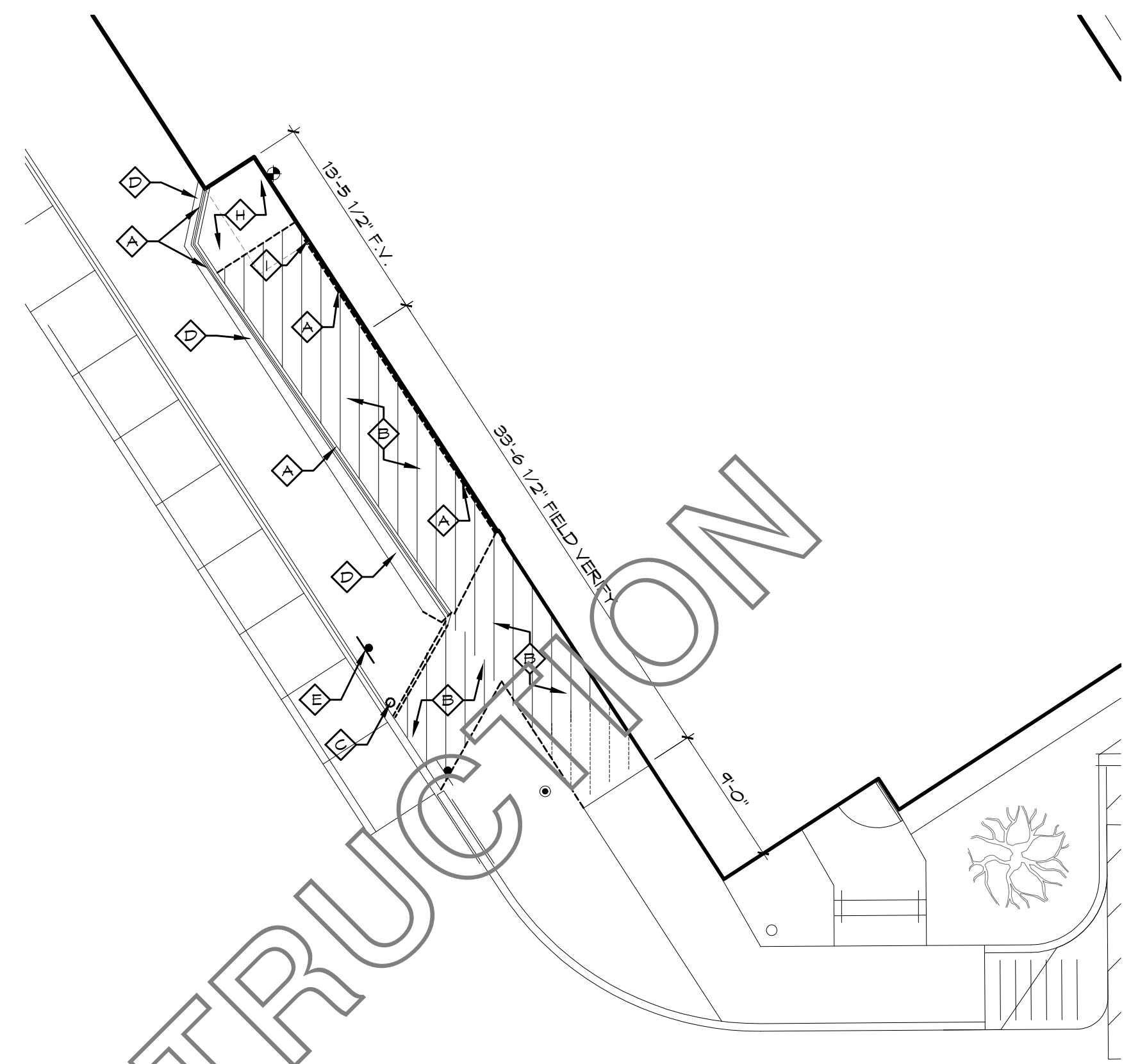
- ◇ REMOVE EXISTING RAILING ASSEMBLY COMPLETE.
- B. SAW CUT AND REMOVE EXISTING CONCRETE SIDEWALK COMPLETE.
- C. REMOVE ALL GRASS, LANDSCAPE PLANTS, LANDSCAPE MATERIAL, AND IRRIGATION SYSTEM COMPLETE. REWORK IRRIGATION TO PROVIDE IRRIGATION FOR EXISTING TREES THAT ARE TO REMAIN.
- D. PARTIAL RAMP WALL DEMOLITION. CAREFULLY REMOVE AND SALVAGE (E) BLOCK. RE: 1/A4.1 TO SEE RAMP WALL ELEVATION IV DEMO NOTES.
- E. REMOVE (E) SIGNAGE: "NO PARKING ANY TIME", RE: TO 3/A4.0 FOR NEW LOCATION.
- F. REMOVE (E) SAND-OIL INTERCEPTOR, RE: MECHANICAL.
- G. NOT USED.
- H. EXISTING CONCRETE RAMP TO REMAIN, PROTECT DURING CONSTRUCTION.
- I. REMOVE EXISTING CARD READER TO BE RELOCATED, RE: TECHNOLOGY PLANS FOR FURTHER INFORMATION.

□ SITE KEY NOTES: AT SITE PLANS ONLY

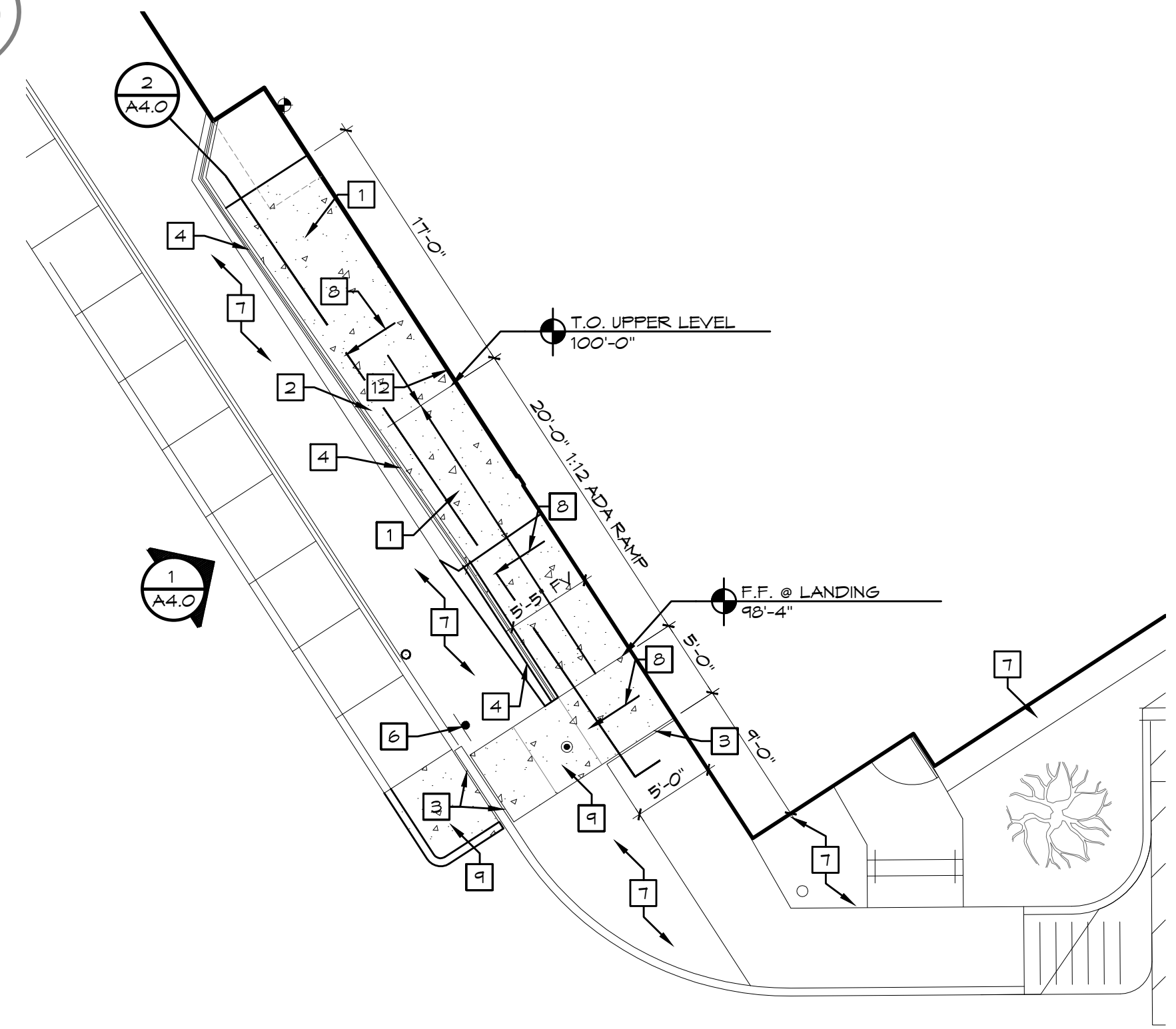
1. NEW 6" ADA CONCRETE RAMP ASSEMBLY COMPLETE.
2. NEW ADA RAILGUARD AND HANDRAIL, RE: DTL; 3/A4.1
3. PROVIDE EXPANSION JOINT AS REQUIRED, RE: DTL; 5/A4.1
4. NEW MODIFIED RETAIN WALL, RE: DTL 2/A4.1
5. EXISTING TREE TO REMAIN. RECONFIGURE IRRIGATION SYSTEM AS NECESSARY TO PROVIDE ADEQUATE PRESSURE TO THE TREES ONLY. GC SHALL VERIFY EXISTING IRRIGATION SYSTEM.
6. RELOCATE (E) "NO PARKING ANY TIME" SIGNAGE, RE: DTL; 7/A4.1.
7. REPLACE (E) LANDSCAPE MATERIAL WITH 8" DIAMETER RIVER ROCK. PROVIDE LANDSCAPE FABRIC UNDER NEW ROCK. REWORK EXISTING IRRIGATION SYSTEM TO PROVIDE IRRIGATION TO EXISTING TREES ONLY.
8. PROVIDE 1/4" IN 12" SLOPE.
9. NEW CONCRETE SIDEWALK, RE: DTL; 6/A4.1
10. INSTALL (N) SAND OIL INTERCEPTOR, RE: MECHANICAL DWGS
11. (E) MANHOLE TO REMAIN, RE: MECHANICAL DWGS.
12. RELOCATED CARD READER, RE: ELECTRICAL & TECHNOLOGY PLANS FOR FURTHER INFORMATION.
13. REPLACE (E) GRASS WITH 1/2" GRAVEL. PROVIDE LANDSCAPE FABRIC UNDER NEW GRAVEL.

SITE PLAN LEGEND

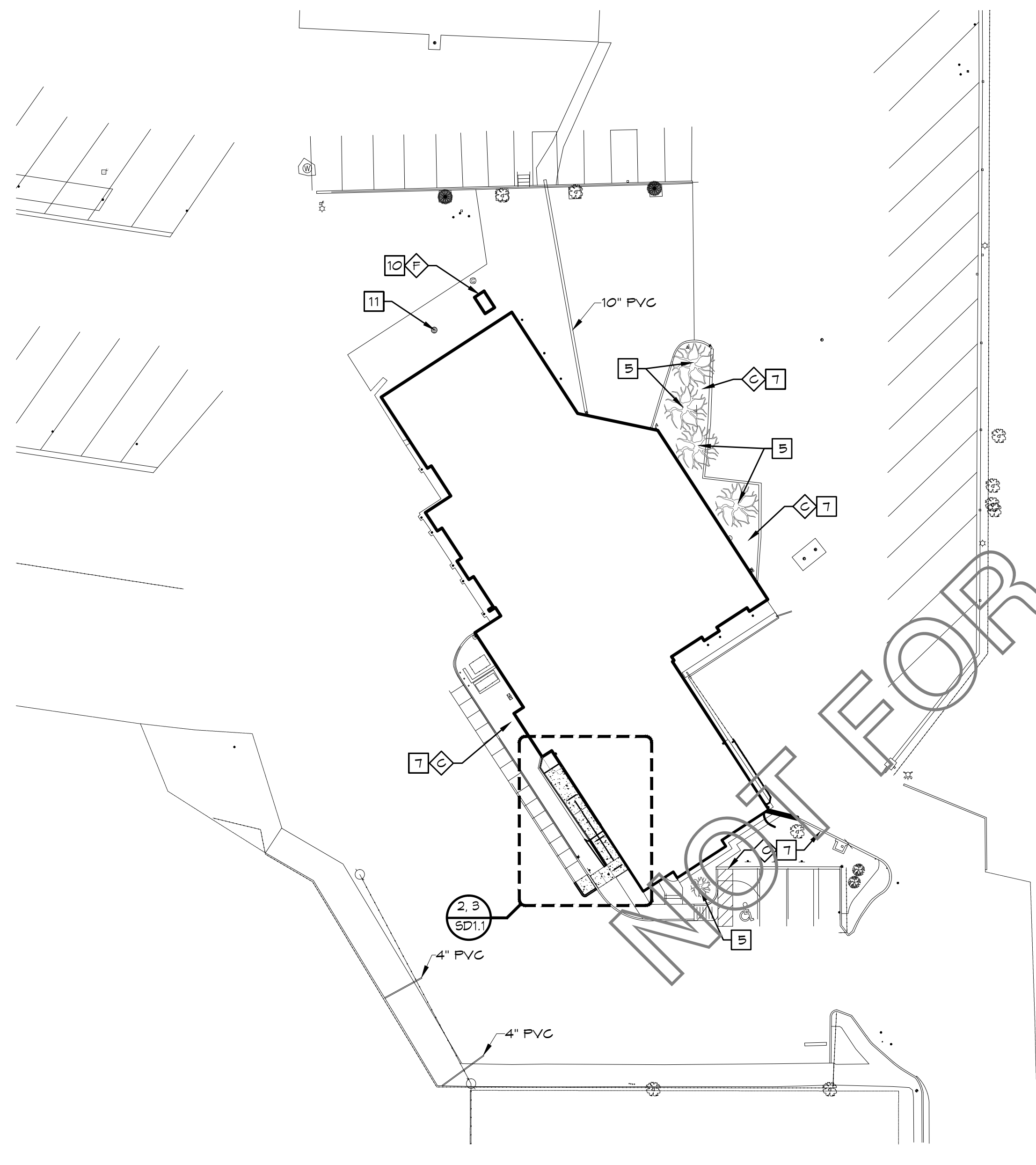
	EXISTING DECIDUOUS TREE		NEW DECIDUOUS TREE
	EXISTING SHRUB		NEW SHRUB
	EXISTING CONIFEROUS TREE		EASEMENT LINE
	CONCRETE PAVING		EXISTING WATER LINE
	MULCH		EXISTING UNDERGROUND POWER UTILITY
	PROPERTY LINE		EXISTING SANITARY SEWER LINE
	BUILDING		EXISTING GAS LINE
	R.O.W. RIGHT OF WAY		EXISTING FENCE
	(E) CONTOUR		WATER LINE
	NEW CONTOUR		FENCE
			FIRE HYDRANT



2 DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"
 PLAN NORTH



3 NEW RAMP
 SCALE: 1/8" = 1'-0"
 PLAN NORTH



1 SITE PLAN
 SCALE: 1" = 30'-0"
 PLAN NORTH

GENERAL NOTES: ALL DEMOLITION FLOOR PLANS

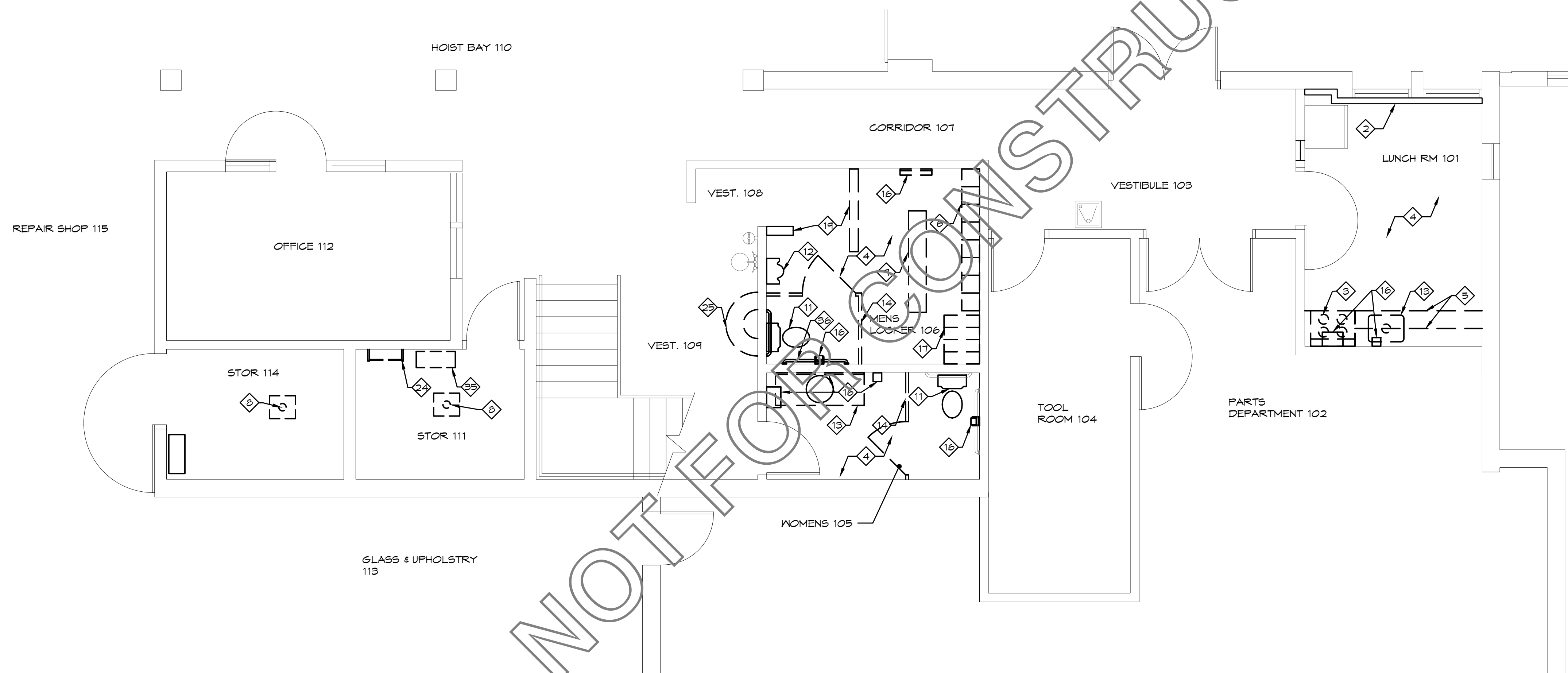
- REFER TO FLOOR PLANS, CEILING PLANS, ROOF PLANS AND ELEVATIONS TO UNDERSTAND THE FULL EXTENT OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT.
- PERFORM ALL DEMOLITION REQUIRED FOR INSTALLATION OF COMPLETE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AS DESCRIBED BY THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING SYSTEMS, FIXTURES AND FINISHES FROM DAMAGE DUE TO DEMOLITION ACTIVITIES. ALL DAMAGED ITEMS AND FINISHES TO BE REPAIRED TO ORIGINAL CONDITION.
- PROVIDE DUST PROTECTION FOR ALL FIRE ALARM DEVICES DURING CONSTRUCTION. PROVIDE DUST PROTECTION AT ALL WORK LOCATIONS, SEGREGATE WORK AREAS FROM AREA WHERE NORMAL OPERATIONS ARE OCCURRING. PROTECT ALL ELECTRONIC EQUIPMENT FROM DUST CREATED BY DEMOLITION AND CONSTRUCTION.
- ALL PIPE PENETRATIONS TO BE SIZED TO ACCOMMODATE CONTINUOUS PIPE INSULATION.
- ALL ITEMS NOTED AS SALVAGE TO OWNER, REVIEW W/ OWNER TO DETERMINE IF OWNER WANTS ITEM, IF NOT DISPOSE OF ITEM PER CONTRACT DOCUMENTS.
- ALL EXISTING FLOORS TO RECEIVE NEW FINISH TO RECEIVE HYDRAULIC CEMENT UNDERLAYMENT TO CREATE A LEVEL SURFACE PRIOR TO FINISH FLOORING INSTALLATION.
- FIELD VERIFY LOCATION OF ALL ELECTRICAL AND MECHANICAL IN AREAS OF CEILING DEMOLITION. REMOVE, PROTECT, AND SALVAGE FOR RE-INSTALLATION ALL ELECTRICAL AND MECHANICAL FIXTURES AS REQUIRED FOR NEW CONSTRUCTION.

- MAINTAIN FIRE RATING THROUGHOUT BUILDING, INCLUDING WALLS FLOOR/CEILING ASSEMBLIES, CEILING/ROOF ASSEMBLIES, ETC, AS WELL AS ALL OTHER CONSTRUCTION AS NOTED ON CODE STUDY. ALL NEW AND ABANDONED PENETRATIONS ARE TO BE SEALED AS REQUIRED TO MAINTAIN (E) FIRE RATING.
- ALL EXISTING MASONRY BEING DEMOLISHED IS TO BE SALVAGED FOR RE-INSTALLATION AT WALL RECEIVING PATCHING / INFILL. CARE IS TO BE TAKEN WHEN SALVAGING MASONRY TO ENSURE ENOUGH MASONRY WILL BE SALVAGED IN GOOD CONDITION FOR PATCHWORK.
- REMOVE ALL CORNERGUARDS FROM CORRIDORS RECEIVING NEW PAINT.
- CONTRACTOR TO TAKE PRECAUTIONS WHEN DEMOLISHING EXISTING WALLS OR PORTIONS OF EXISTING WALLS TO AVOID CUTTING, DAMAGING OR INCAPACITATING ANY EXISTING SYSTEMS (LOW VOLTAGE, PHONE, DATA, ETC.) CURRENTLY IN PLACE WITHIN THE BUILDING. ANY DAMAGE TO EXISTING SYSTEMS MUST BE REPAIRED TO FULL WORKING ORDER PRIOR TO CONSTRUCTION COMPLETION.
- CONTRACTOR TO SUPPLY SHORING FOR ALL STRUCTURAL WORK, AS REQUIRED FOR ANY STRUCTURAL CHANGES OR PARTIAL WALL DEMOLITION. CONTRACTOR TO SUPPLY ENGINEERING REQUIRED FOR ALL SHORING. RE: SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR TO REMOVE ALL PLUMBING, MECHANICAL, AND ELECTRICAL AS REQUIRED TO ACCOMPLISH WORK SHOWN ON THE ARCHITECTURAL DRAWINGS. PLUMBING, MECHANICAL, AND ELECTRICAL ARE TO BE PUT BACK IN WORKING ORDER AFTER COMPLETION OF ARCHITECTURAL WORK.

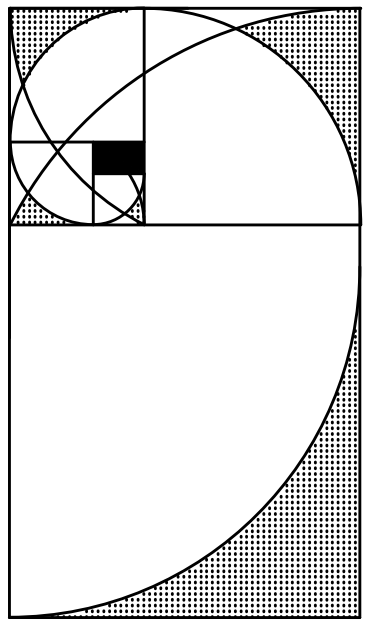
DEMO NOTES: ALL DEMO PLANS

- REMOVE EXISTING DOOR, HARDWARE, & FRAME ASSEMBLY COMPLETE.
- (E) BASE BOARD HEAT TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS.
- REMOVE (E) STOVE, SALVAGE FOR REINSTALLATION.
- REMOVE ALL FLOORING & WALL BASE, THIS ENTIRE ROOM, PREPARE FOR NEW FLOORING.
- REMOVE EXISTING CASEWORK ASSEMBLY COMPLETE.
- REMOVE LOCKERS COMPLETE, SALVAGE FOR REINSTALLATION @ NEW LOCATION. CLEAN AND ELECTROSTATIC PAINT.
- REMOVE (E) CMU WALL ASSEMBLY COMPLETE.
- REMOVE (E) FLOOR DRAIN ASSEMBLY COMPLETE, RE: PLUMBING. PATCH CONCRETE.
- REMOVE (E) BENCH ASSEMBLY COMPLETE. PATCH AS REQUIRED.
- SAW CUT AND REMOVE CAREFULLY (E) MASONRY WALL (SALVAGE REMOVED SCORE MASONRY TO BE REUSE AT REMOVED STOREFRONT AREA) AS REQUIRED FOR NEW EXTERIOR DOOR AND SIDELIGHT. RE: DOOR SCHEDULE.
- REMOVE EXISTING WATER CLOSET ASSEMBLY COMPLETE, RE: PLUMBING.
- REMOVE EXISTING URINAL ASSEMBLY COMPLETE, RE: PLUMBING.
- REMOVE EXISTING SINK AND COUNTERTOP ASSEMBLY COMPLETE, RE: PLUMBING.
- REMOVE EXISTING TOILET STALL ASSEMBLIES COMPLETE, INCLUDING ALL STALL MOUNTED ACCESSORIES.
- REMOVE EXISTING DRINKING FOUNTAIN ASSEMBLY COMPLETE.
- REMOVE (E) SOAP, PAPER TOWEL, TOILET TISSUE, FEM. SANT, NAPKIN DISPENSER &/OR MIRROR ASSEMBLY COMPLETE, SALVAGE FOR RE-INSTALLATION AT NEW LOCATIONS.
- REMOVE (E) LOCKERS, SALVAGE FOR REINSTALLATION @ NEW LOCATION, DO NOT PAINT.
- REMOVE (E) MOP SINK, RE: PLUMBING.
- REMOVE WALL ASSEMBLY COMPLETE, INCLUDING ANY MECHANICAL, ELECTRICAL, OR PLUMBING. PATCH AS REQUIRED FOR NEW CONSTRUCTION, TYPICAL.
- REMOVE WINDOW AND FRAME ASSEMBLY COMPLETE.
- REMOVE CASEWORK, COUNTERTOP, AND SUPPORTS COMPLETE. SALVAGE FOR REINSTALLATION.
- REMOVE (E) TV COMPLETE, SALVAGE FOR REINSTALLATION.
- REMOVE SHELVING ASSEMBLY COMPLETE, SALVAGE TO OWNER.
- REMOVE (E) LADDER COMPLETE. PATCH WALL/FLOOR AS REQUIRED - PAINT.
- REMOVE (E) HAND WASH BASIN ASSEMBLY COMPLETE, CAP LINES FOR INSTALLATION OF (N) HAND WASH BASIN. RE: PLUMBING.
- REMOVE (E) SECURITY ALARM PANEL, RE: TECHNOLOGY PLANS FOR NEW LOCATION.

- REMOVE (E) WINDOW BLINDS ASSEMBLY COMPLETE.
- REMOVE TRANSITION STRIP AND TRIM (E) CARPET AS REQUIRED BY NEW FLOORING TO STRAIGHT EDGE.
- REMOVE ELECTRICAL PANEL COMPLETE, RE: ELECTRICAL.
- REMOVE SODA AND ICE MACHINE, SALVAGE FOR REINSTALLATION.
- REMOVE EXISTING MECHANICAL DUCT, RE: MECHANICAL.
- REMOVE MAIL SLOT UNIT COMPLETE, SALVAGE FOR REINSTALLATION @ NEW LOCATION.
- DEMO EXISTING HOUSEKEEPING PAD, ASSEMBLY COMPLETE.
- SAW CUT (E) TEES CONCRETE FLOOR TO INSTALL NEW HATCH ACCESS. (F.V. BEST LOCATION).
- REMOVE (E) F/A EQUIPMENT ASSEMBLY COMPLETE. SALVAGE FOR BE INSTALL AT NEW LOCATION. RE: ELECTRICAL.
- REMOVE (E) GRAB BARS ASSEMBLY COMPLETE, SALVAGE FOR REINSTALLATION.
- DEMO (E) CONCRETE FLOOR TO PERMIT INSTALL NEW MECHANICAL DUCT, TRADE WITH MECHANICAL, PLUMBER, STRUCT. DRAWINGS.
- (E) WATER HEATER TO REMAIN, RE: PLUMBING DWGS.



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



YON TANNER ARCHITECTURE

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DATE:
PROJECT NO: 14101B
ISSUE:
50%
CONSTRUCTION
DOCUMENTS

DRAWN: KS-LZ
CHECKED: RET
FILE NAME:
AD1.1.FFDPP

DWG NAME:
FIRST FLOOR
DEMOLITION
PLAN

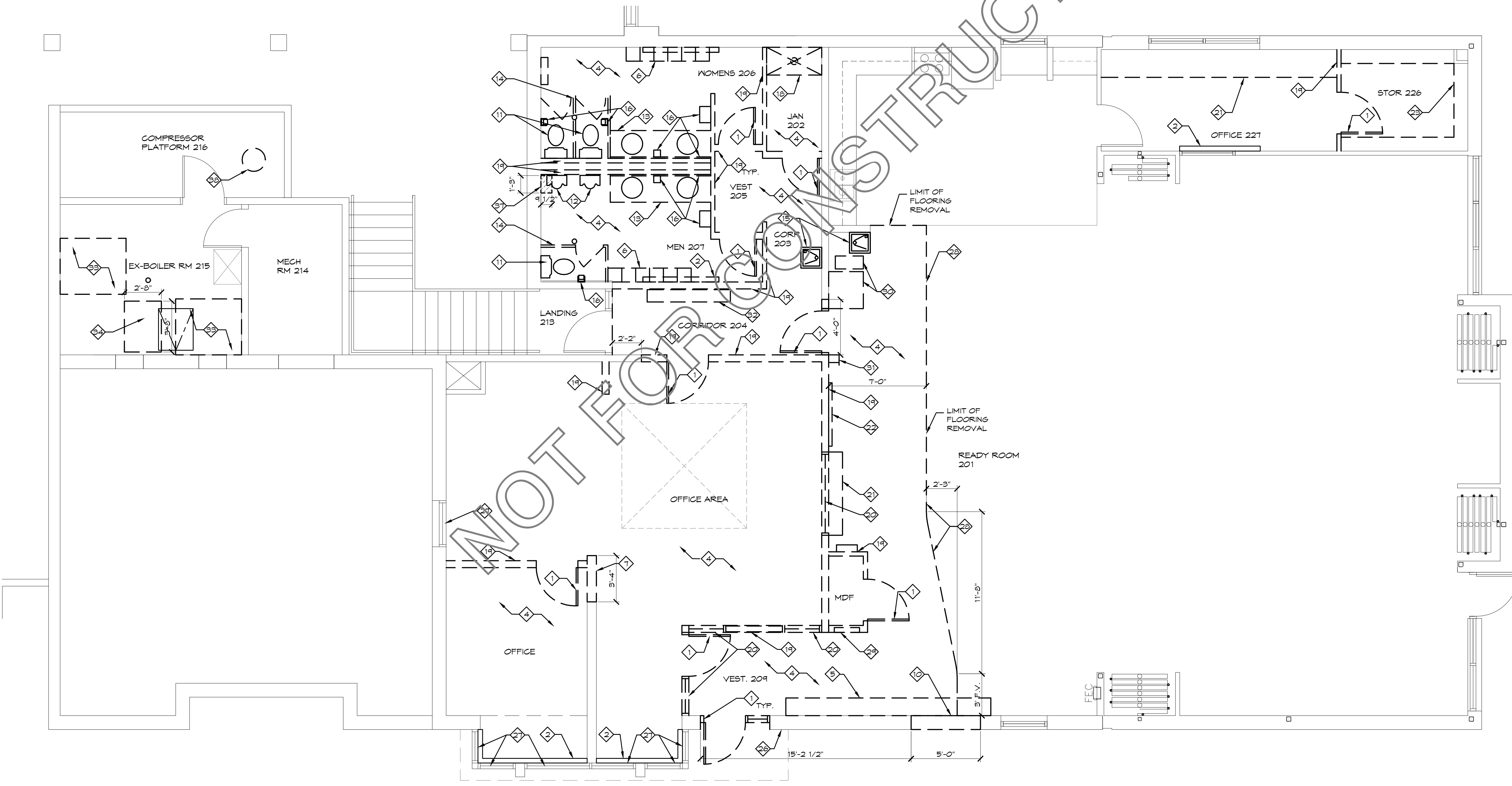
SHEET NO:
AD1.1

GENERAL NOTES: ALL DEMOLITION FLOOR PLANS

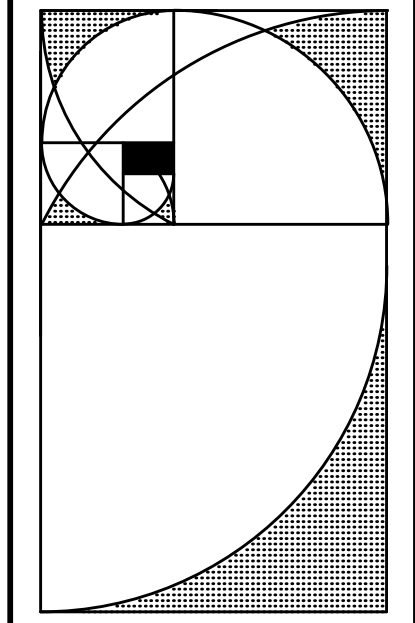
- REFER TO FLOOR PLANS, CEILING PLANS, ROOF PLANS AND ELEVATIONS TO UNDERSTAND THE FULL EXTENT OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT.
- PERFORM ALL DEMOLITION REQUIRED FOR INSTALLATION OF COMPLETE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AS DESCRIBED BY THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING SYSTEMS, FIXTURES AND FINISHES FROM DAMAGE DUE TO DEMOLITION ACTIVITIES. ALL DAMAGED ITEMS AND FINISHES TO BE REPAIRED TO ORIGINAL CONDITION.
- PROVIDE DUST PROTECTION FOR ALL FIRE ALARM DEVICES DURING CONSTRUCTION. PROVIDE DUST PROTECTION AT ALL WORK LOCATIONS, SEGREGATE WORK AREAS FROM AREA WHERE NORMAL OPERATIONS ARE OCCURRING. PROTECT ALL ELECTRONIC EQUIPMENT FROM DUST CREATED BY DEMOLITION AND CONSTRUCTION.
- ALL PIPE PENETRATIONS TO BE SIZED TO ACCOMMODATE CONTINUOUS PIPE INSULATION.
- ALL ITEMS NOTED AS SALVAGE TO OWNER, REVIEW W/ OWNER TO DETERMINE IF OWNER WANTS ITEM, IF NOT DISPOSE OF ITEM PER CONTRACT DOCUMENTS.
- ALL EXISTING FLOORS TO RECEIVE NEW FINISH TO RECEIVE HYDRAULIC CEMENT UNDERLAYMENT TO CREATE A LEVEL SURFACE PRIOR TO FINISH FLOORING INSTALLATION.
- FIELD VERIFY LOCATION OF ALL ELECTRICAL AND MECHANICAL IN AREAS OF CEILING DEMOLITION. REMOVE, PROTECT, AND SALVAGE FOR RE-INSTALLATION ALL ELECTRICAL AND MECHANICAL FIXTURES AS REQUIRED FOR NEW CONSTRUCTION.

DEMO NOTES: ALL DEMO PLANS

- REMOVE EXISTING DOOR, HARDWARE, & FRAME ASSEMBLY COMPLETE.
- (E) BASE BOARD HEAT TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS.
- REMOVE (E) STOVE, SALVAGE FOR REINSTALLATION.
- REMOVE ALL FLOORING & WALL BASE, THIS ENTIRE ROOM, PREPARE FOR NEW FLOORING.
- REMOVE EXISTING CASEWORK ASSEMBLY COMPLETE.
- REMOVE LOCKERS COMPLETE, SALVAGE FOR REINSTALLATION @ NEW LOCATION. CLEAN AND ELECTROSTATIC PAINT.
- REMOVE (E) CMU WALL ASSEMBLY COMPLETE.
- REMOVE (E) FLOOR DRAIN ASSEMBLY COMPLETE, RE: PLUMBING. PATCH CONCRETE.
- REMOVE (E) BENCH ASSEMBLY COMPLETE. PATCH AS REQUIRED.
- SAW CUT AND REMOVE CAREFULLY (E) MASONRY WALL. (SALVAGE REMOVED SCORE MASONRY TO BE REUSE AT REMOVED STOREFRONT AREA) AS REQUIRED FOR NEW EXTERIOR DOOR AND SIDELIGHT. RE: DOOR SCHEDULE.
- REMOVE EXISTING WATER CLOSET ASSEMBLY COMPLETE, RE: PLUMBING.
- REMOVE EXISTING URINAL ASSEMBLY COMPLETE, RE: PLUMBING.
- REMOVE EXISTING SINK AND COUNTERTOP ASSEMBLY COMPLETE, RE: PLUMBING.
- REMOVE EXISTING TOILET STALL ASSEMBLIES COMPLETE, INCLUDING ALL STALL MOUNTED ACCESSORIES.
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- REMOVE (E) SECURITY ALARM PANEL, RE: TECHNOLOGY PLANS FOR NEW LOCATION.
- REMOVE (E) WINDOW BLINDS ASSEMBLY COMPLETE.
- REMOVE TRANSITION STRIP AND TRIM (E) CARPET AS REQUIRED BY NEW FLOORING TO STRAIGHT EDGE.
- REMOVE ELECTRICAL PANEL COMPLETE, RE: ELECTRICAL.
- REMOVE SODA AND ICE MACHINE, SALVAGE FOR REINSTALLATION.
- REMOVE EXISTING MECHANICAL DUCT, RE: MECHANICAL.
- REMOVE MAIL SLOT UNIT COMPLETE, SALVAGE FOR REINSTALLATION @ NEW LOCATION.
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- REMOVE (E) GRAB BARS ASSEMBLY COMPLETE, SALVAGE FOR REINSTALLATION.
- DEMO (E) CONCRETE FLOOR TO PERMIT INSTALL NEW MECHANICAL DUCT. TRADE WITH MECHANICAL, PLUMBER, STRUCT. DRAWINGS.
- (E) WATER HEATER TO REMAIN, RE: PLUMBING DWGS.



1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



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DATE:
PROJECT NO: 14101B
ISSUE:
50%
CONSTRUCTION DOCUMENTS

DRAWN: KS-LZ
CHECKED: RET
FILE NAME: AD1.2_SFPD

DWG NAME:
SECOND FLOOR DEMOLITION PLAN

SHEET NO:
AD1.2

GENERAL NOTES:

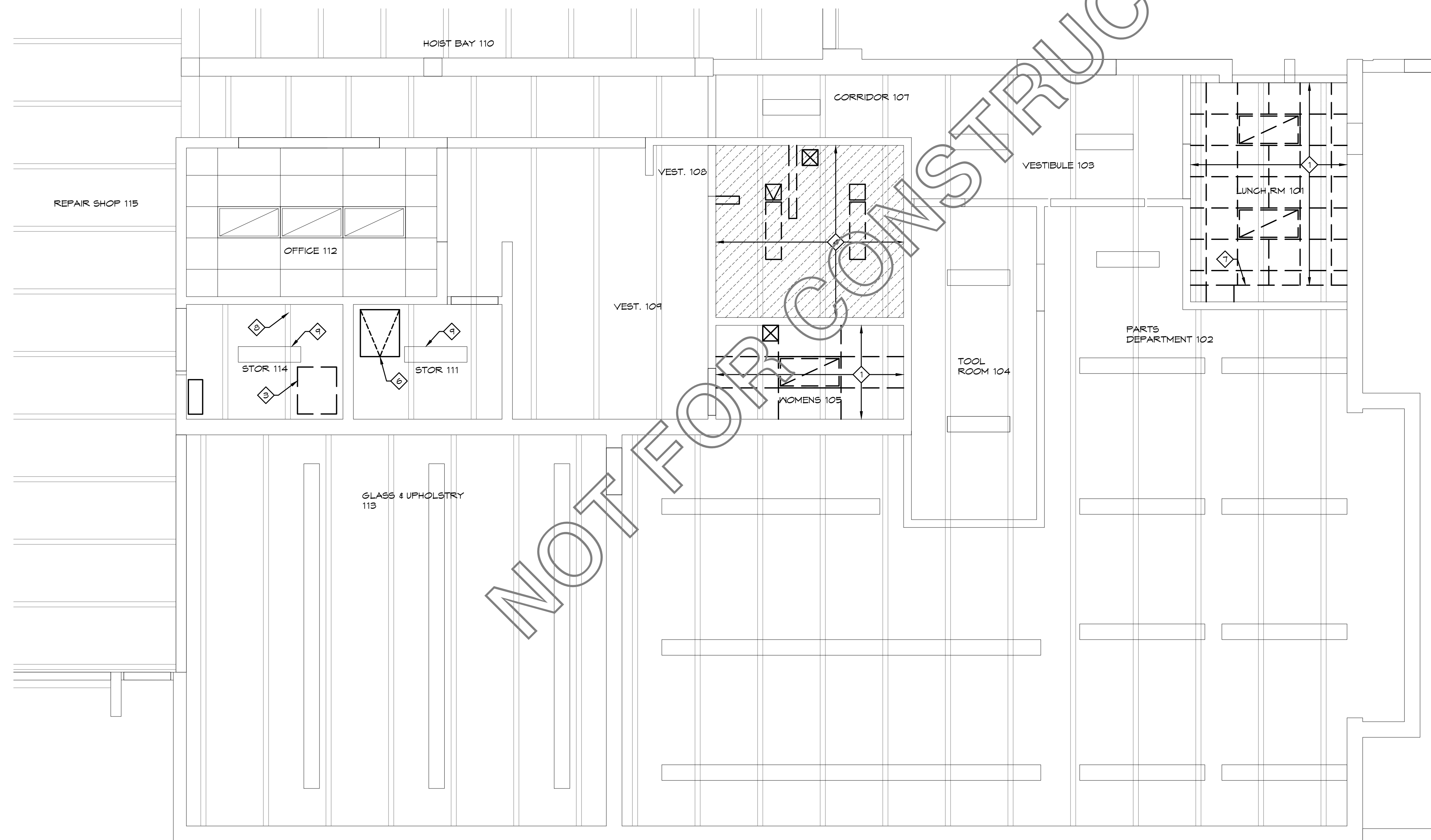
- AREAS WHERE ONLY DUCT REPLACEMENT IS OCCURRING, SALVAGE ALL CLEAN, UNBROKEN CEILING TILE FOR RE-INSTALLATION. CONTRACTOR TO REMOVE TILE & GRID NECESSARY FOR MECHANICAL WORK. RE-INSTALL NON-DAMAGED GRID OR NEW GRID. RE-INSTALL ALL MECHANICAL & ELECTRICAL DEVICES REMOVED & SUSPENDED ACOUSTICAL CEILING.
- CONTRACTOR WILL HAVE CEILING TILE & GRID REMOVED FROM ROOMS WHERE FULL REMODELS ARE OCCURRING. THIS TILE CAN BE USED IN THE DUCT REPLACEMENT AREAS. MAKE EVERY EFFORT TO MATCH TILE IN ROOMS W/REPLACED TILE. CONTRACTOR RESPONSIBLE FOR REPLACING ALL CEILING & GRID REMOVED. WHETHER BY REUSE OF GOOD EXISTING CEILING TILES OR REPLACEMENT WITH MATCHING NEW TILES.
- NOT USED.
- EXISTING LIGHTING TO BE RE-INSTALLED IN ALL AREAS WHERE ONLY DUCT REPLACEMENT IS OCCURRING. AREAS WHERE ROOMS ARE REMODELED & RECONFIGURED, NEW LIGHTING WILL BE INSTALLED. RE: ELECTRICAL PLANS FOR LOCATIONS OF REUSE & NEW FIXTURES.

LEGEND: ALL REFLECTED CEILING PLANS

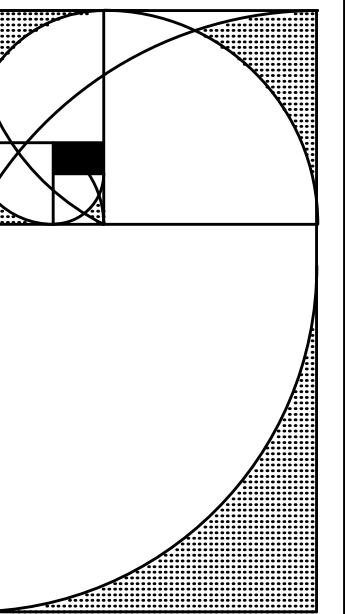
- (E) RECESSED FLUORESCENT LIGHT FIXTURE TO BE REMOVED AND REPLACED OR RELOCATED
- NEW OR RELOCATED RECESSED FLUORESCENT LIGHT FIXTURE
- (E) RECESSED FLUORESCENT LIGHT FIXTURE, PROTECT DURING CONSTRUCTION
- (E) SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- (E) SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE TO BE REMOVED
- NEW RECESSED DOWNLIGHT FIXTURE
- NEW SURFACE MOUNTED LIGHT FIXTURE
- REMOVE (E) WALL MOUNTED LIGHT FIXTURE
- (E) WALL MOUNTED LIGHT FIXTURE TO REMAIN
- RELOCATED WALL MOUNTED LIGHT FIXTURE
- SUSPENDED ACOUSTICAL CEILING TILE AND GRID- TO BE REMOVED AND REPLACED
- NEW SUSPENDED ACOUSTICAL CEILING TILE AND GRID
- (E) SUSPENDED ACOUSTICAL CEILING TILE AND GRID- PROTECT DURING CONSTRUCTION
- (E) GYP. BD. CEILING TO BE DEMOLISHED AS REQ'D FOR STRUCTURAL & MECHANICAL WORK
- (N) GYP. BD. CEILING MATCH (E), PATCH AND PAINT AS ORIGINAL CONDITIONS AFTER PERFORMED STRUCTURAL & MECHANICAL WORK
- CEILING HEIGHT
- EXISTING SUPPLY AIR GRILLE, RE: MECH.
- EXISTING RETURN AIR GRILLE, RE: MECH.
- NEW SUPPLY AIR GRILLE, RE: MECH.
- NEW RETURN AIR GRILLE, RE: MECH.
- EXIT LIGHT
- SINGLE FACE EXIT SIGN
- DOUBLE FACE EXIT SIGN
- WALL MOUNTED STROBE
- MANUAL PULL STATION
- SMOKE DETECTOR
- WALL MOUNTED FIRE HORN W/STROBE

DEMO NOTES: ALL DEMO REFLECTED CEILING PLANS

- REMOVE SUSPENDED ACOUSTICAL CEILING ASSEMBLY COMPLETE, ELECTRICAL CONDUITS, LIGHTING FIXTURES, MECHANICAL DUCTS, MECHANICAL DEVICES, ETC. OR ANY EXISTING EQUIPMENT AS REQUIRED FOR NEW CONSTRUCTION. SALVAGE FOR REINSTALLATION. TRADE WITH MECHANICAL, PLUMBING AND ELECTRICAL DWGS.
- REMOVE (E) MECHANICAL DEVICE, SALVAGE FOR RELOCATION. RE: MECHANICAL DWGS.
- SAW CUT AND REMOVE (E) EXPOSED CONCRETE TEES AS REQ'D FOR INSTALL NEW ACCESS HATCH (F.V. FOR BEST LOCATION @ (E) CONCRETE TEES). TRADE WITH ANY MECHANICAL, PLUMBING, AND ELECTRICAL FOR ANY MODIFICATION REQ'D TO INSTALL NEW HATCH ACCESS.
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- (E) SOFFIT TO REMAIN, REMOVE WOOD FINISHES & GYPSUM BOARD. REMAIN (E) METAL FRAMING, CLEAN AND PREPARE TO RECEIVE NEW FINISH MATERIALS.
- (E) ACCESS HATCH, WELD CLOSED AND SEAL TO PREVENT AIR FLOW.
- (E) DROP SOFFIT TO REMAIN. CLEAN, PATCH AND PAINT.
- (E) EXPOSED CONCRETE TEES TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS.
- (E) LIGHTING TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS
- REMOVE (E) SECURITY LIGHT, SALVAGE TO BE REINSTALLED.



1 FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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DATE:
PROJECT NO: 14101B
ISSUE:
50%
CONSTRUCTION DOCUMENTS

DRAWN: KS-LZ
CHECKED: RET
FILE NAME: AD2_1_FFDRCP

DWG NAME:
FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN

SHEET NO:
AD2.1

GENERAL NOTES:

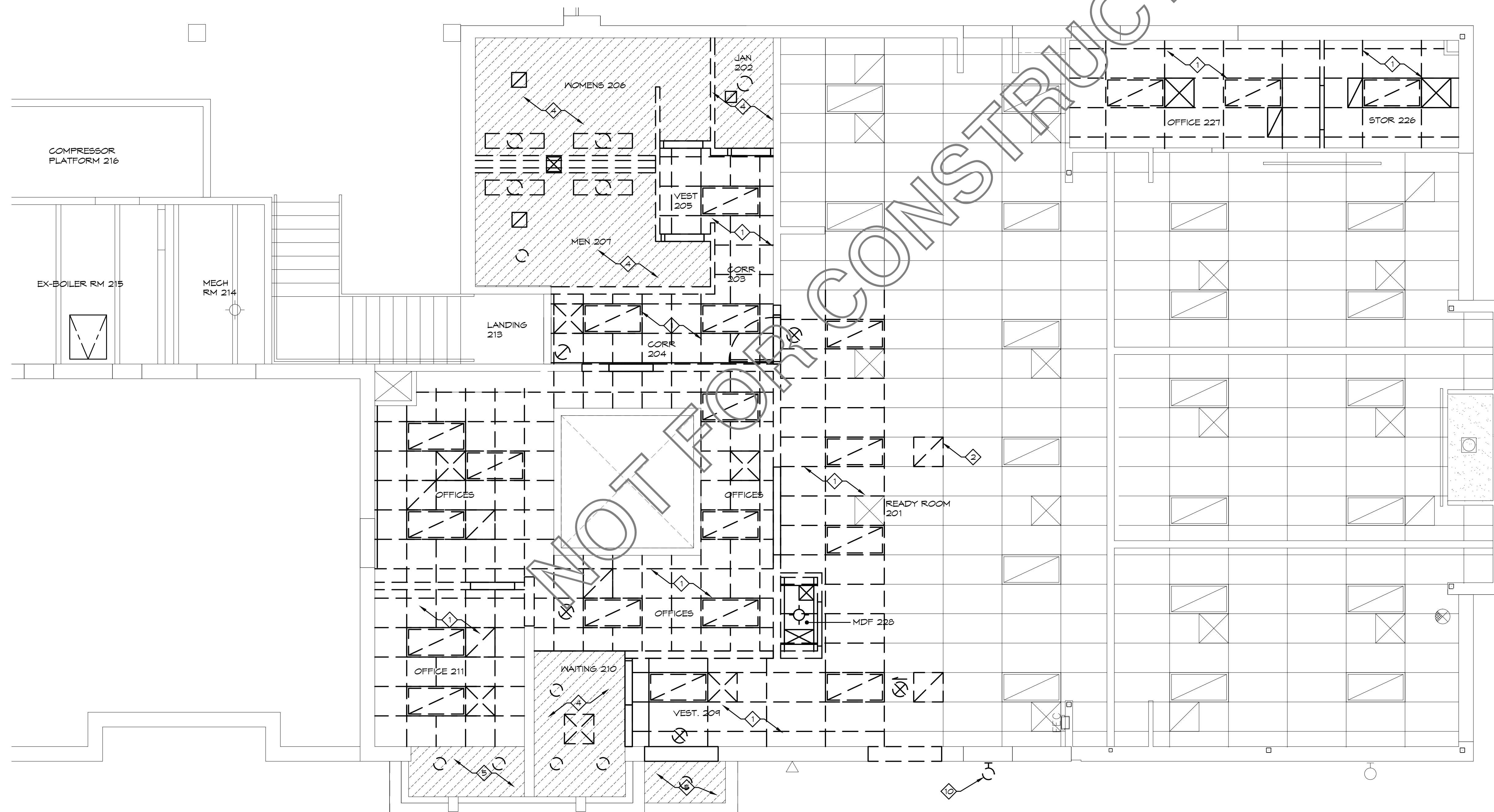
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LEGEND: ALL REFLECTED CEILING PLANS

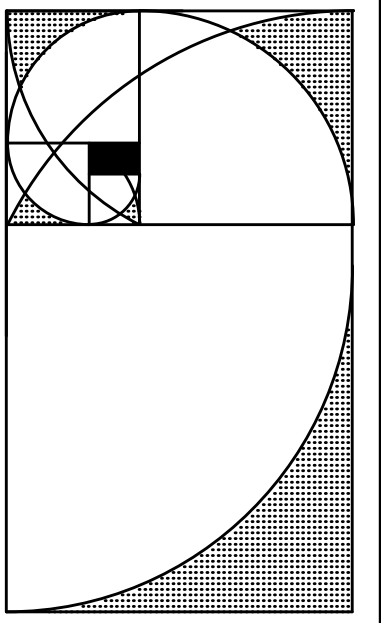
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- (E) RECESSED FLUORESCENT LIGHT FIXTURE, PROTECT DURING CONSTRUCTION
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- SMOKE DETECTOR
- WALL MOUNTED FIRE HORN W/STROBE

DEMO NOTES: ALL DEMO REFLECTED CEILING PLANS

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- (E) ACCESS HATCH, WELD CLOSED AND SEAL TO PREVENT AIR FLOW.
- (E) DROP SOFFIT TO REMAIN. CLEAN, PATCH AND PAINT.
- (E) EXPOSED CONCRETE TEES TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS.
- (E) LIGHTING TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS
- REMOVE (E) SECURITY LIGHT, SALVAGE TO BE REINSTALLED.



1 SECOND FLOOR DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



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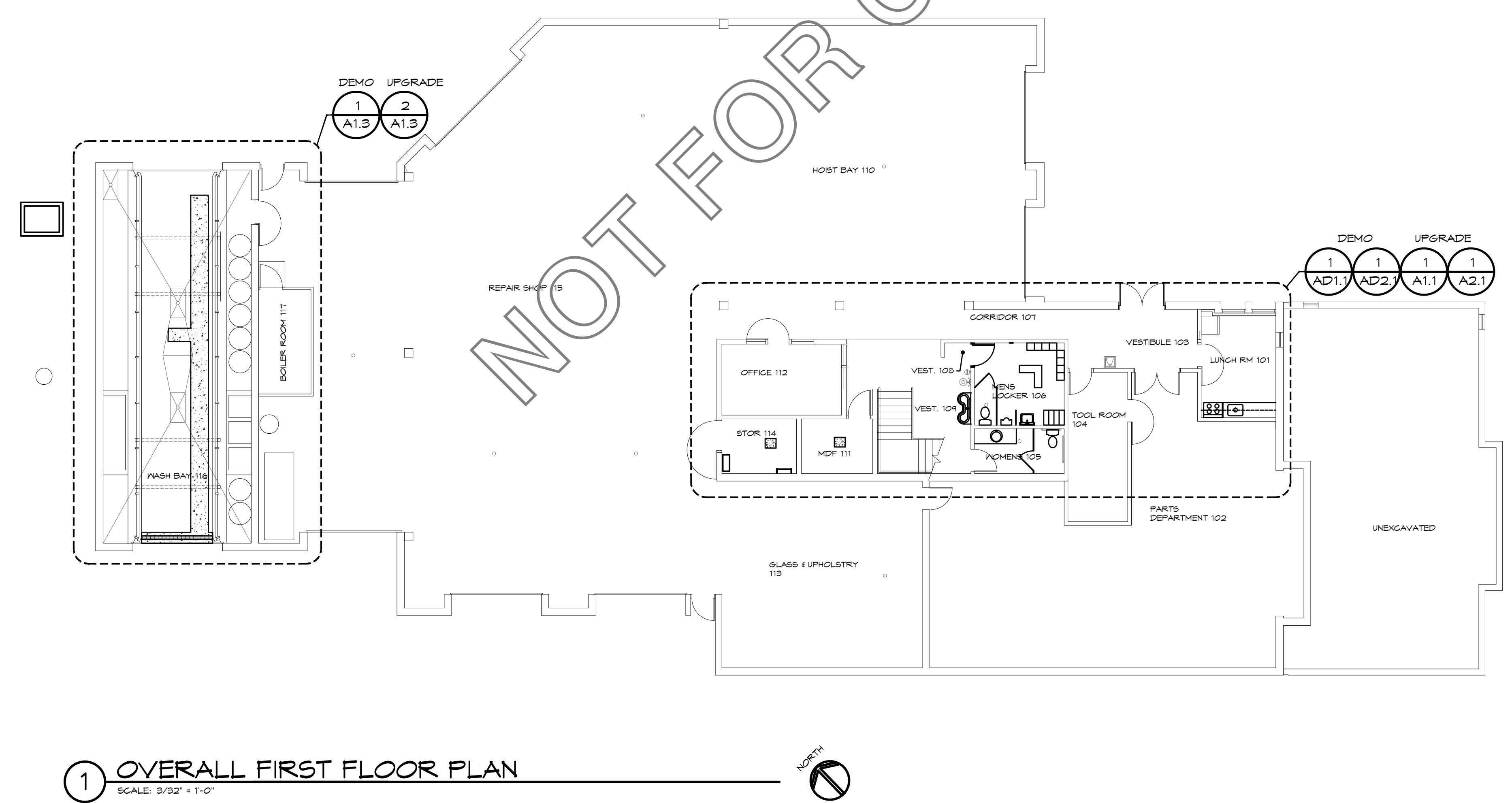
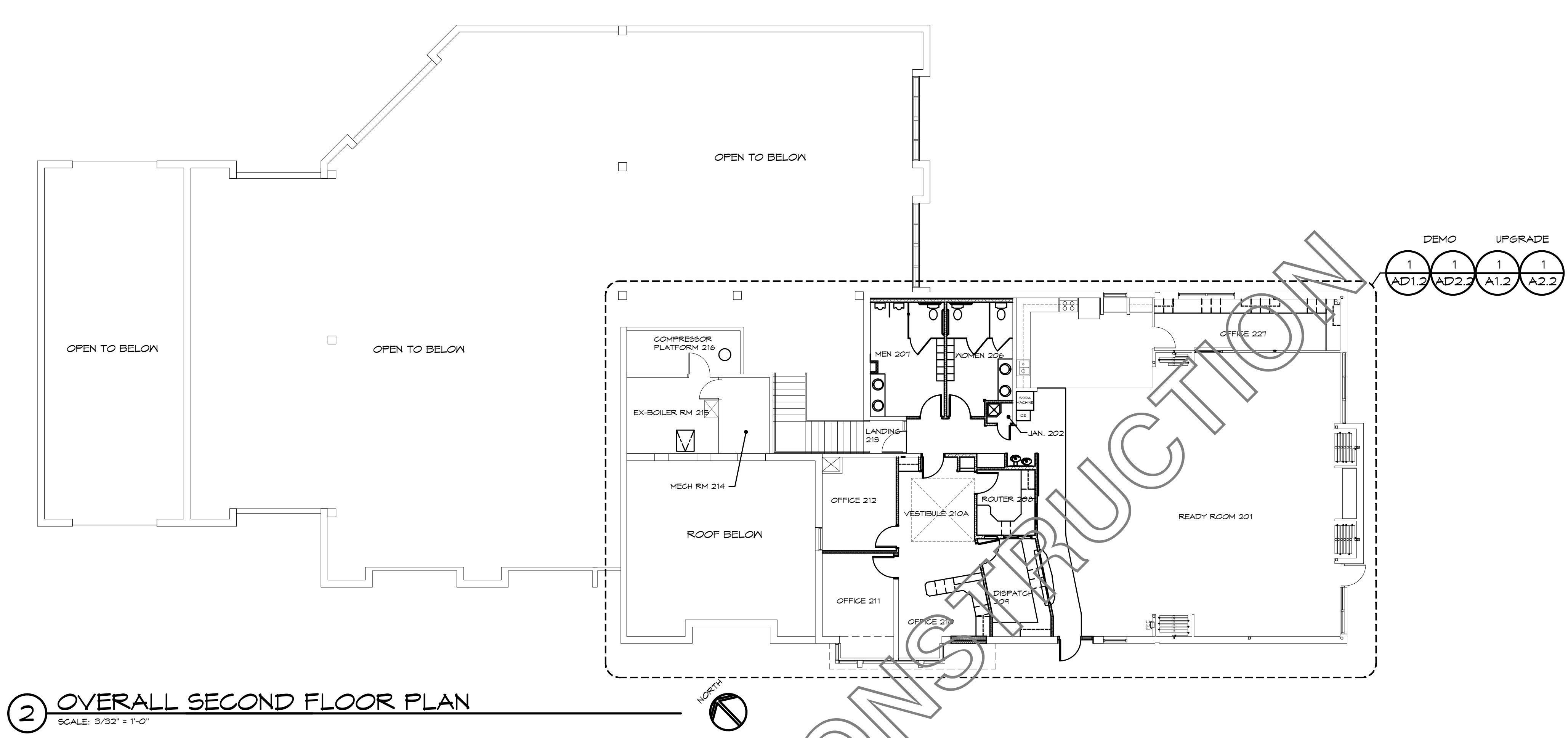
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DATE:
PROJECT NO: 14101B
ISSUE:
50%
CONSTRUCTION DOCUMENTS

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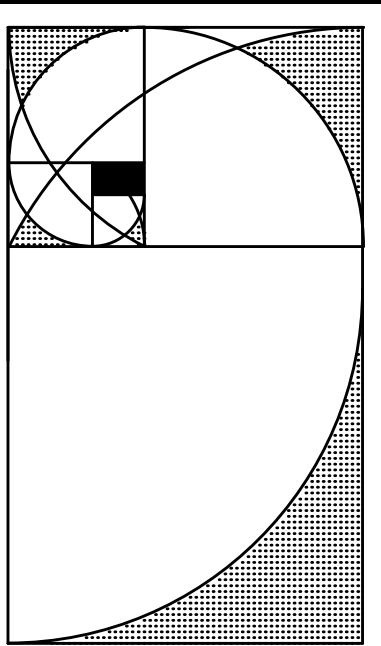
DWG NAME:
SECOND FLOOR DEMOLITION REFLECTED CEILING PLAN

SHEET NO:
AD2.2



GENERAL NOTES: ALL FLOOR PLANS

- REFER TO FLOOR PLANS, CEILING PLANS, ROOF PLANS AND ELEVATIONS TO UNDERSTAND THE FULL EXTENT OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT.
- PERFORM ALL DEMOLITION REQUIRED FOR INSTALLATION OF COMPLETE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AS DESCRIBED BY THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- ALL PAINTING OF EXISTING SURFACES ARE TO EXTEND TO THE NEAREST CORNER.
- PATCH, REPAIR AND PAINT ANY SURFACES DAMAGED BY NEW CONSTRUCTION OR DEMOLITION, TYP.
- ALL ROOMS RECEIVING NEW FLOORING & BASE ARE TO BE FIELD VERIFIED PRIOR TO ORDERING MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING SYSTEMS, FIXTURES AND FINISHES FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES. ALL DAMAGED ITEMS AND FINISHES TO BE REPAIRED TO ORIGINAL CONDITION AT NO COST TO OWNER.
- PROVIDE DUST PROTECTION FOR ALL FIRE ALARM DEVICES DURING CONSTRUCTION. PROVIDE DUST PROTECTION AT ALL WORK LOCATIONS. SEGREGATE WORK AREAS FROM AREA WHERE NORMAL OPERATIONS ARE OCCURRING. PROTECT ALL ELECTRONIC EQUIPMENT FROM DUST CREATED BY DEMOLITION AND CONSTRUCTION.
- THE BUILDING PERMIT AND INSPECTIONS ARE THROUGH STATE OF COLORADO DIVISION OF FIRE SAFETY. THE STATE ELECTRICAL AND PLUMBING PERMITS AND INSPECTIONS ARE THROUGH THE STATE OF COLORADO. ALL PERMIT FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING, PROTECTING AND RETURNING ALL FURNISHINGS, FIXTURES, EQUIPMENT, SUPPLIES, ARTWORK, AND ANY OTHER ITEMS IN THE SCHOOL THAT WILL NEED TO BE MOVED IN ORDER TO COMPLETE THE PROJECT SCOPE OF WORK. WHEN WORK IS COMPLETE ITEMS WILL BE MOVED BACK TO THEIR ORIGINAL LOCATIONS BY THE CONTRACTOR.
- CEILING TILE REPAIR IN AREAS WHERE WORK IS DONE: REPLACE ALL MISSING, BENT AND BOXED TILES IN . REPLACE ANY TILES WITH DAMAGE OVER THE SIZE OF A QUARTER. RE-ATTACH ANY LOOSE TILES. MATCH EXISTING TEXTURE AND FINISH.
- MAINTAIN FIRE RATING THROUGHOUT BUILDING, INCLUDING WALLS FLOOR/CEILING ASSEMBLIES, CEILING/ROOF ASSEMBLIES, ETC. AS WELL AS ALL OTHER CONSTRUCTION AS NOTED ON CODE STUDY. ALL NEW AND ABANDONED PENETRATIONS ARE TO BE SEALED AS REQUIRED TO MAINTAIN (E) FIRE RATINGS.
- LEAD PAINT MAY BE ENCOUNTERED IN THIS BUILDING. PAINTER TO USE HAZARDOUS MATERIALS STANDARDS/PROCEDURES FOR REPAINTING AND PREPARATION. SEE OWNER PROVIDED HAZARDOUS MATERIALS REPORT FOR EXACT LOCATIONS.
- PROVIDE INTERIOR SIGNAGE ROOM:
 - ROOM LOCATIONS SHOWN WITH A (K) SYMBOL. COORDINATE NAMES AND LETTERING OF ROOMS WITH OWNER. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY ON ALL SIGNS TO ACCESSIBLE TOILET ROOMS. MOUNT SIGN PER SPECIFICATION ON WALL AT LATCH SIDE OF DOORS 2' FROM FRAME FOR ROOM SIGNS, RE: DTL. 9.9/A6.1



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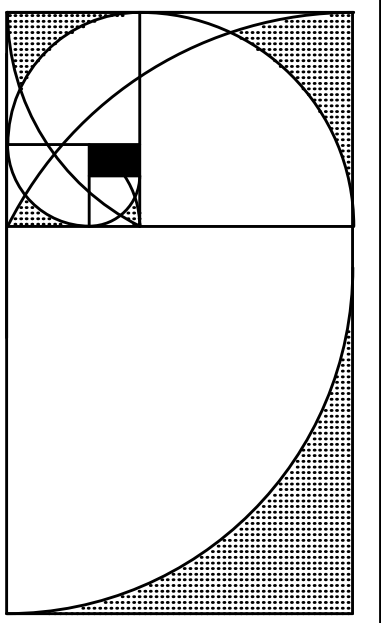
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DATE:
 PROJECT NO: 14101B
 ISSUE:
 50%
 CONSTRUCTION DOCUMENTS

DRAWN: KS-LZ
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 FILE NAME: A1_05FP

DWG NAME:
 OVERALL FLOOR PLANS

SHEET NO:
A1.0



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DATE:
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 ISSUE:
50% CONSTRUCTION DOCUMENTS

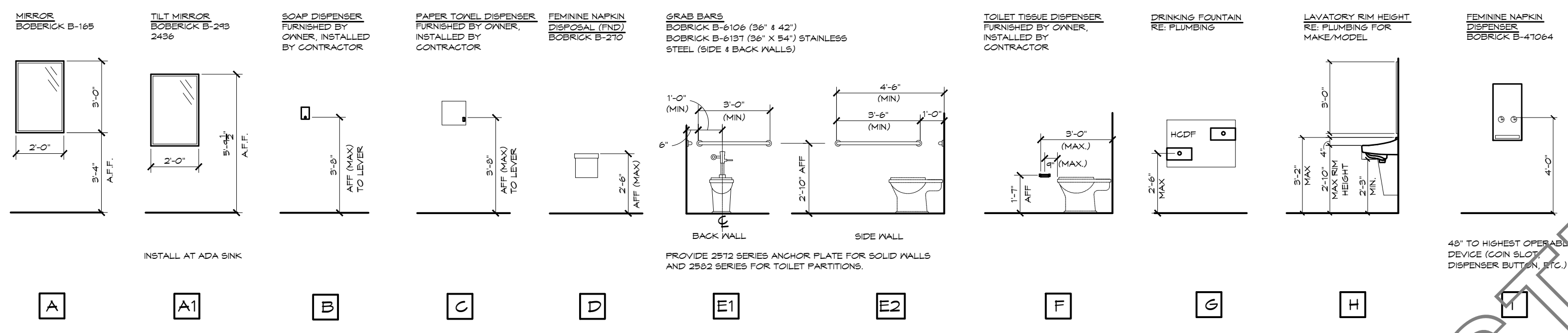
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 CHECKED: RET
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DWG NAME:
ENLARGED FIRST FLOOR PLAN

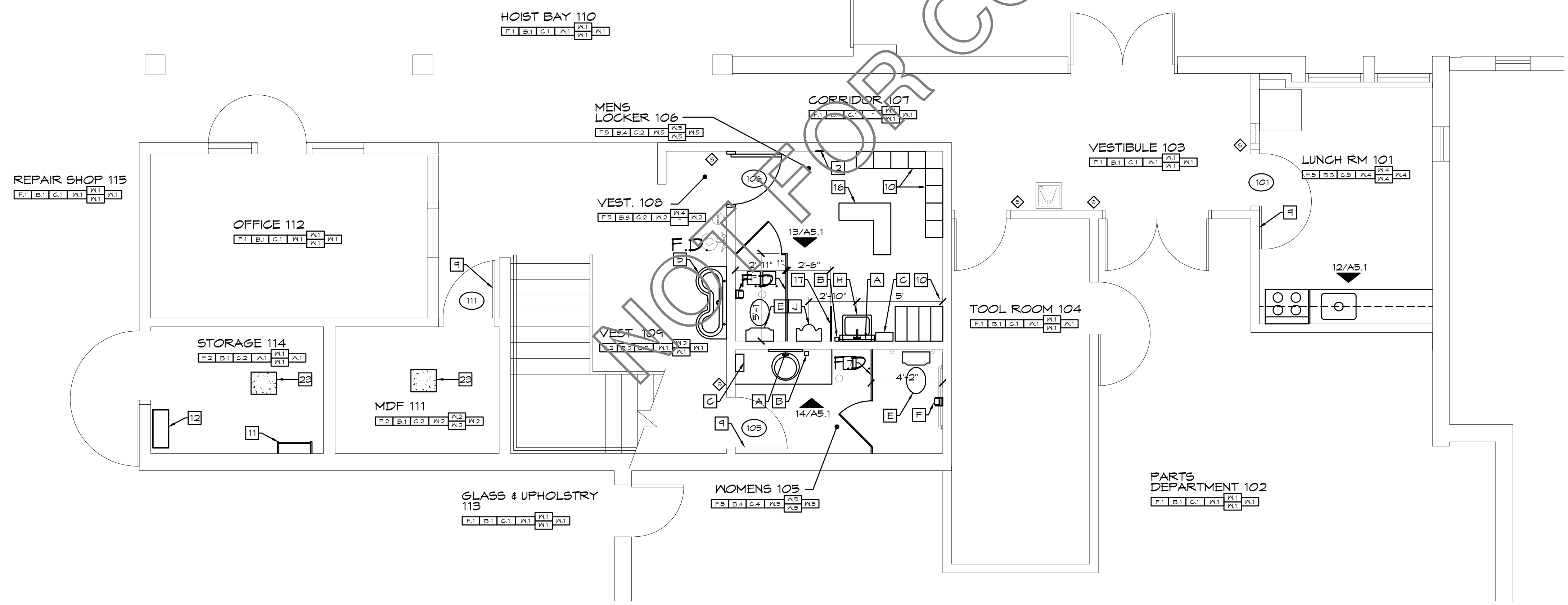
SHEET NO:
A1.1

KEY NOTES: ALL FLOOR PLANS

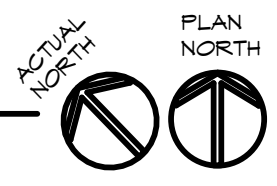
1. RELOCATED (E) CARD READER, RE: TECHNOLOGY PLANS.
2. PATCH EXISTING WALLS WHERE WALL REMOVED. SMOOTH TRANSITION OF WALL. NEW FINISH FULL LENGTH OF WALL.
3. ALIGN NEW WALL WITH EXISTING WALL. SMOOTH TRANSITION, SAND SMOOTH, FINISH WALL THICKNESS TO MATCH EXISTING.
4. PROVIDE J-MOLD AND CONTINUOUS SEALANT WHERE GYP. BD. MEETS DISSIMILAR MATERIAL (TYP).
5. INSTALL (N) WASH BASIN, RE: PLUMBING.
6. PROVIDE ACCESS PANEL @ EACH RESTROOM FOR MAINTENANCE ACCESS. ACCESS PANEL TO BE 12"X12" STAINLESS STEEL, LOCKABLE, IV FLANGE.
7. PROVIDE NEW TOILET STALL ASSEMBLY COMPLETE.
8. (E) FLOOR DRAIN TO REMAIN.
9. (E) DOOR AND FRAME TO REMAIN, RE: DOOR SCHEDULE.
10. REINSTALL SALVAGED LOCKERS. CLEAN AND ELECTROSTATIC PAINT.
11. (N) LADDER, RE: DTL X/A6.1
12. RELOCATED (E) F/A EQUIPMENT, RE: ELECTRICAL DWGS.
13. CLOSE, WELD & SEAL COMPLETELY (E) ACCESS HATCH TO PREVENT ALL AIR FLOW.
14. (E) FLOORING TO REMAIN, PROTECT DURING CONSTRUCTION.
15. INSTALL NEW HATCH ACCESS, RE: DTL. X/AX.X. FIELD VERIFY BEST LOCATION AT CONCRETE TEES.
16. PROVIDE 12" DEEP BENCH.
17. FLOOR MOUNTED URINAL SCREEN ASSEMBLY.
18. RELOCATE (E) ELECTRICAL PANEL, RE: ELECTRICAL.
19. 6' HIGH CORNER GUARD, TYPICAL OF ALL NEW CORNERS.
20. REINSTALL (E) T.V. AT 4'-0" ABOVE FINISHED FLOOR.
21. PROVIDE NEW JANITORIAL SINK, RE: PLUMBING.
22. PROVIDE NEW 1" HORIZONTAL MINI-BLINDS SIZED FOR FULL WINDOW.
23. PATCH CONCRETE, MATCH EXISTING.
24. INFILL WALL WITH (E) SALVAGED SCORED BLOCK FROM NEW EXTERIOR DOOR OPENING.
25. PROVIDE NEW TRANSITION STRIP, RE: DTL 14/A6.1
26. REINSTALL (E) TACKBOARD.
27. PROVIDE (N) 100 GALLONS WATER HEATER, RE: PLUMBING DWGS.

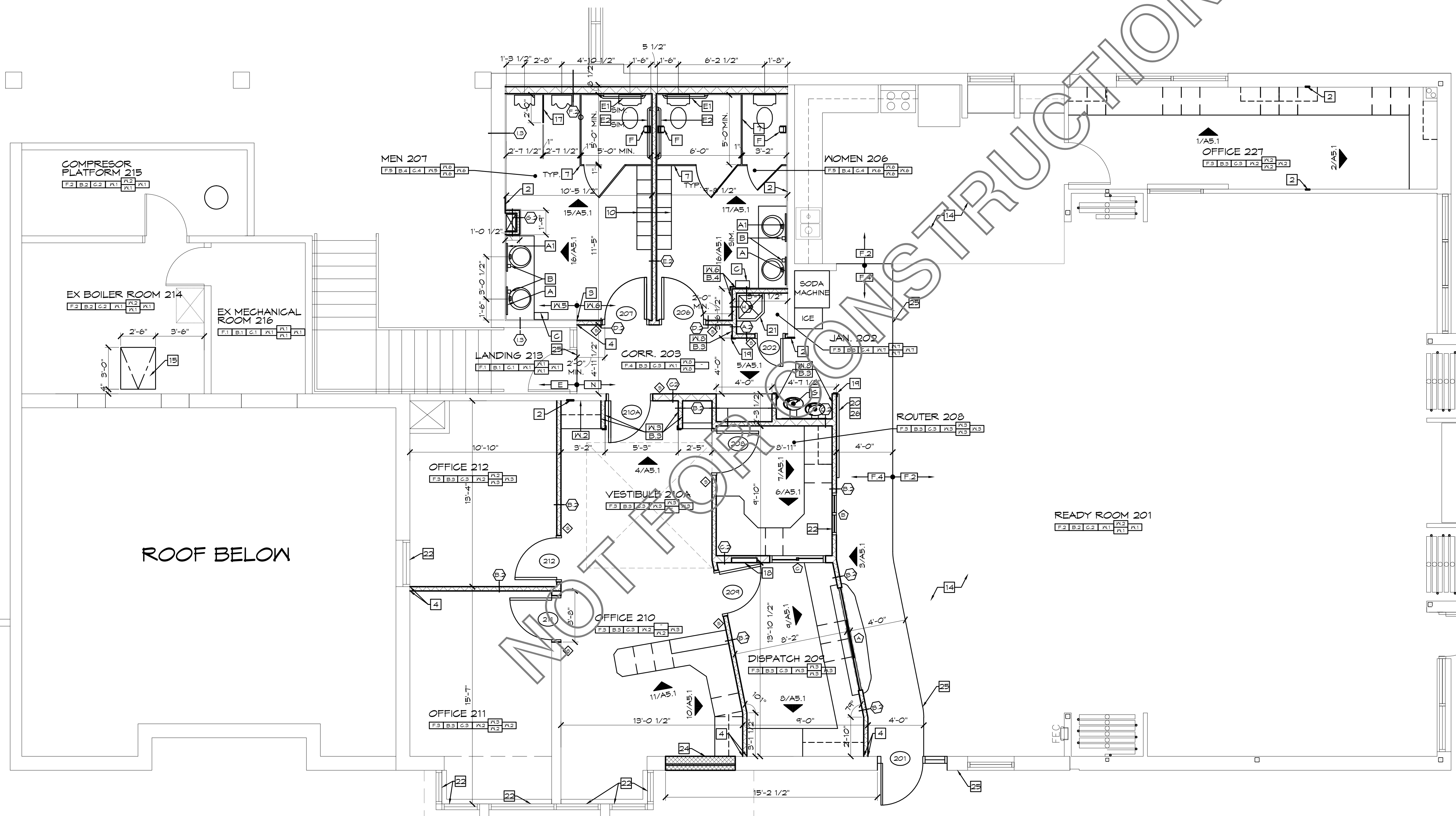


2 TOILET EQUIPMENT SCHEDULE
 SCALE: 1/4" = 1'-0"



1 ENLARGED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



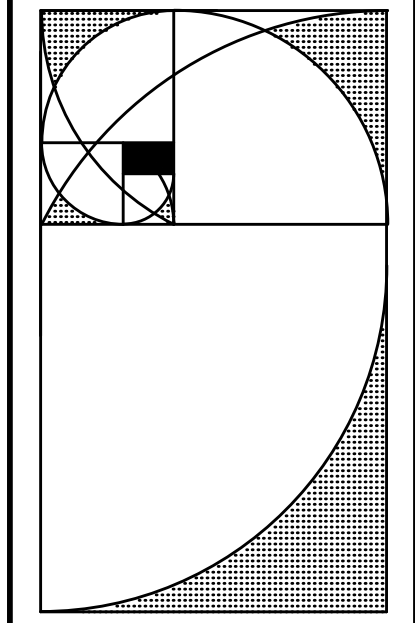


KEY NOTES: ALL FLOOR PLANS

1. RELOCATED (E) CARD READER, RE: TECHNOLOGY PLANS.
2. PATCH EXISTING WALLS WHERE WALL REMOVED. SMOOTH TRANSITION OF WALL. NEW FINISH FULL LENGTH OF WALL.
3. ALIGN NEW WALL WITH EXISTING WALL. SMOOTH TRANSITION, SAND SMOOTH, FINISH WALL THICKNESS TO MATCH EXISTING.
4. PROVIDE J-MOLD AND CONTINUOUS SEALANT WHERE GYP. BD. MEETS DISSIMILAR MATERIAL (TYP).
5. INSTALL (N) WASH BASIN, RE: PLUMBING.
6. PROVIDE ACCESS PANEL @ EACH RESTROOM FOR MAINTENANCE ACCESS. ACCESS PANEL TO BE 12"X12" STAINLESS STEEL, LOCKABLE, 1/4" FLANGE.
7. PROVIDE NEW TOILET STALL ASSEMBLY COMPLETE.
8. (E) FLOOR DRAIN TO REMAIN.
9. (E) DOOR AND FRAME TO REMAIN, RE: DOOR SCHEDULE.
10. REINSTALL SALVAGED LOCKERS, CLEAN AND ELECTROSTATIC PAINT.
11. (N) LADDER, RE: DTL X/A6.1
12. RELOCATED (E) F/A EQUIPMENT, RE: ELECTRICAL DWGS.
13. CLOSE, WELD & SEAL COMPLETELY (E) ACCESS HATCH TO PREVENT ALL AIR FLOW.
14. (E) FLOORING TO REMAIN, PROTECT DURING CONSTRUCTION.
15. INSTALL NEW HATCH ACCESS, RE: DTL X/AX.X. FIELD VERIFY BEST LOCATION AT CONCRETE TEES.
16. PROVIDE 12" DEEP BENCH.
17. FLOOR MOUNTED URINAL SCREEN ASSEMBLY.
18. RELOCATE (E) ELECTRICAL PANEL, RE: ELECTRICAL.
19. 6" HIGH CORNER GUARD, TYPICAL OF ALL NEW CORNERS.
20. REINSTALL (E) T.V. AT 4'-0" ABOVE FINISHED FLOOR.
21. PROVIDE NEW JANITORIAL SINK, RE: PLUMBING.
22. PROVIDE NEW 1" HORIZONTAL MINI-BLINDS SIZED FOR FULL WINDOW.
23. PATCH CONCRETE, MATCH EXISTING.
24. INFILL WALL WITH (E) SALVAGED SCORED BLOCK FROM NEW EXTERIOR DOOR OPENING.
25. PROVIDE NEW TRANSITION STRIP, RE: DTL 14/A6.1
26. REINSTALL (E) TACKBOARD.

FINISH SCHEDULE

ROOM NAME, ROOM NUMBER	FLOOR	BASE	CEILING	WALL	DOOR	TOILET	STAIR
F.1 (E) FLOORING TO REMAIN - PROTECT DURING CONSTRUCTION	F.1						
F.2 (E) FLOORING TO REMAIN - PATCH TO MATCH EXISTING AS REQUIRED FOR NEW CONSTRUCTION	F.2						
F.3 CARPET	F.3						
F.4 VCT	F.4						
F.5 SLIP RESISTANT SEAMLESS RESIN FLOORING	F.5						
B.1 (E) BASE TO REMAIN - PROTECT DURING CONSTRUCTION	B.1						
B.2 (E) BASE TO REMAIN - PATCH TO MATCH EXISTING AS REQUIRED BY NEW CONSTRUCTION	B.2						
B.3 4" RUBBER BASE	B.3						
B.4 WALL TILE BASE	B.4						
B.5 6" SEAMLESS BASE	B.5						
C.1 (E) CEILING TO REMAIN - PROTECT DURING CONSTRUCTION	C.1						
C.2 (E) CEILING TO REMAIN - PATCH CEILING ASSEMBLY AS REQUIRED BY NEW CONSTRUCTION	C.2						
C.3 2X4' SUSPENDED ACOUSTICAL TILE @ GRID	C.3						
C.4 GYPSUM BOARD CEILING ASSEMBLY - PAINT	C.4						
W.1 (E) WALL TO REMAIN - PROTECT DURING CONSTRUCTION	W.1						
W.2 (E) WALL TO REMAIN - PATCH AS REQUIRED BY NEW CONSTRUCTION - PAINT FULL WALL	W.2						
W.3 GYPSUM BOARD - PAINT	W.3						
W.4 (E) CMU - PAINT	W.4						
W.5 (E) CMU - TILE FULL HEIGHT	W.5						
W.6 MOISTURE RESISTANT GYPSUM BOARD - TILE FULL HEIGHT	W.6						
W.7 MOISTURE RESISTANT GYPSUM BOARD - EPOXY PAINT	W.7						
W.8 HIGH IMPACT TYPE 'X' GYPSUM BOARD - PAINT	W.8						



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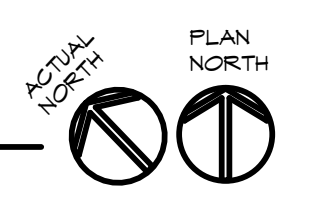
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 ISSUE:
50% CONSTRUCTION DOCUMENTS

DRAWN: KS-LZ
 CHECKED: RET
 FILE NAME: A1.2_ENLPL

DWG NAME:
ENLARGED SECOND FLOOR PLAN

SHEET NO:
A1.2

1 ENLARGED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

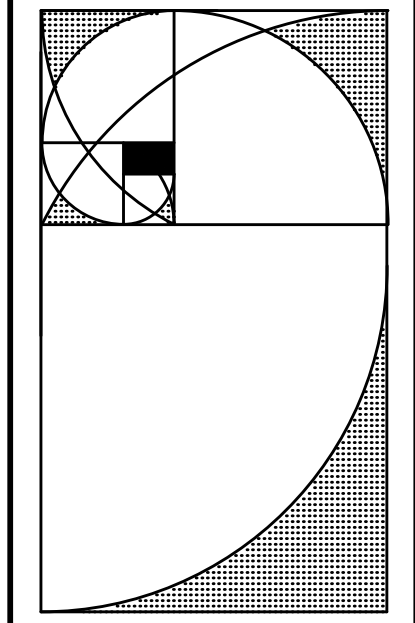


◇ DEMO NOTES: AT BUS WASH PLANS ONLY

- ◇ REMOVE EXISTING SAND OIL, FOR ADDITIONAL INFORMATION RE: PLUMBING DRAWINGS.
2. EXISTING MANHOLE TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS.
3. ABANDON EXISTING WATER HOLDING TANK, FOR ADDITIONAL INFORMATION RE: PLUMBING DRAWINGS.
4. EXISTING CATCH BASIN TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS.
5. ABANDON RECLAIM PITS, FOR ADDITIONAL INFORMATION RE: PLUMBING DRAWINGS.
6. SAW CUT AND REMOVE (E) CONCRETE AS REQUIRED, CLEAN AND PREPARE FOR INSTALLATION OF NEW PIPING, RE: PLUMBING DRAWINGS.
7. DEMO EXISTING CONCRETE TO INSTALL TRENCH DRAIN, RE: PLUMBING DRAWINGS.

□ KEY NOTES: AT BUS WASH PLANS ONLY

1. INSTALL NEW SAND OIL INTERCEPTOR 2000 GALLONS CAPACITY, RE: PLUMBING DWGS.
2. EXISTING MANHOLE TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS, RE: PLUMB DWGS.
3. CAP EXISTING PIPES PER PLUMBING, RE: PLUMBING DWGS.
4. FILL HOLDING TANK WITH SAND & SEAL OPENING WITH CONCRETE LEVEL. CONCRETE LEVEL FLUSH WITH EXISTING FLOOR, RE: PLUMBING DWGS.
5. INSTALL NEW TRENCH PER MECHANICAL, RE: PLUMBING DWGS. PATCH CONCRETE FLOOR AS REQ'D AFTER TRENCH INSTALLATION.
6. FILL RECLAIM PITS WITH SAND & SEAL OPENINGS WITH CONCRETE LEVEL. CONCRETE FLUSH WITH EXISTING FLOOR, RE: PLUMB DWGS.
7. EXISTING CATCH BASIN TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS.
8. PATCH CONCRETE AS REQUIRED FOR INSTALLATION OF NEW LINE.



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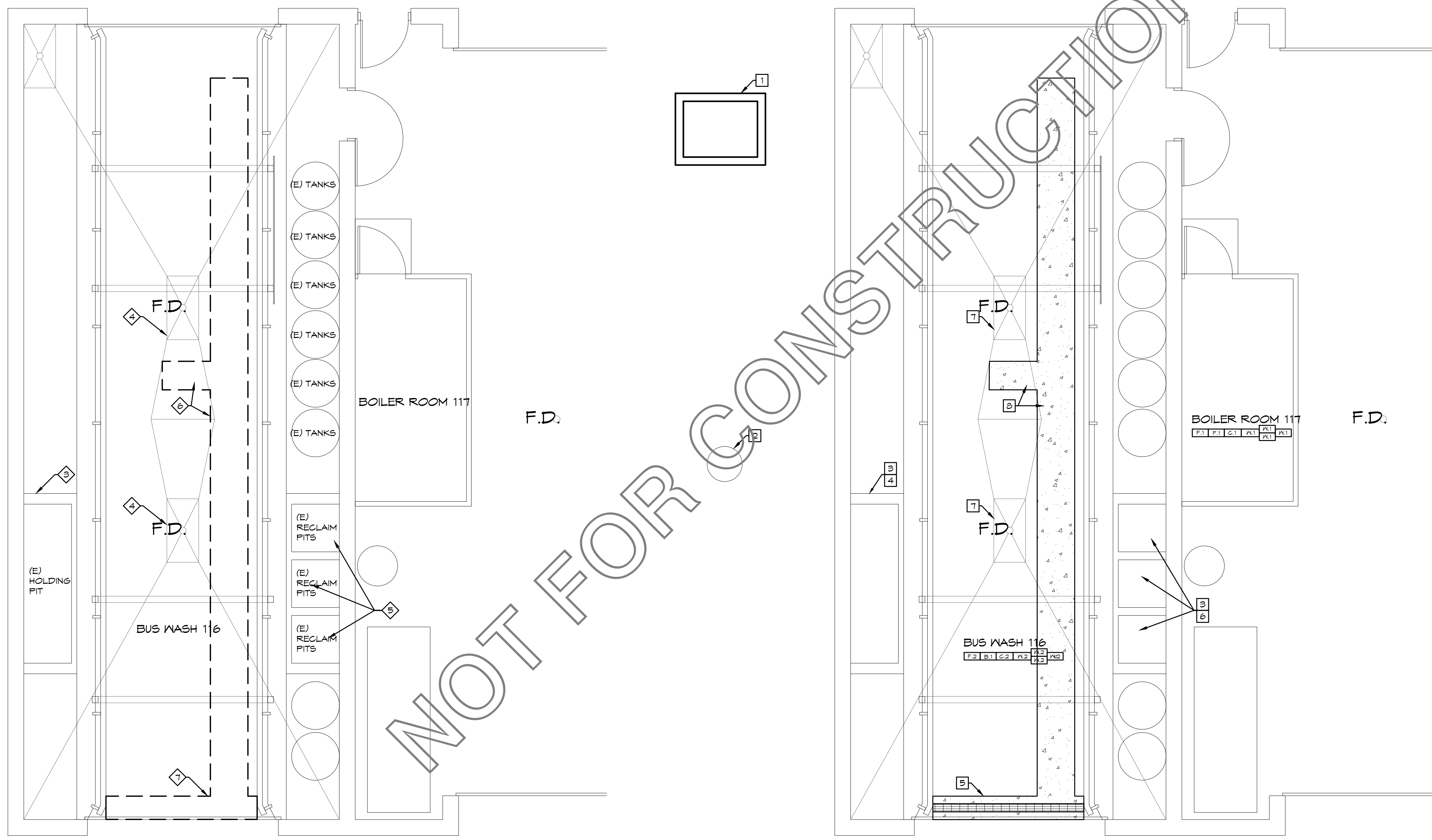
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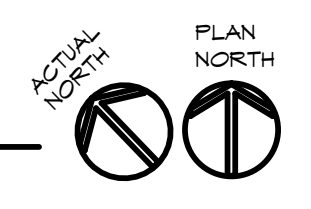
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DWG NAME:
 ENLARGED BUS WASH PLANS

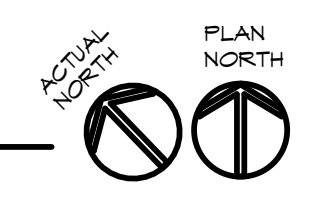
SHEET NO:
A1.3



1 ENLARGED DEMOLITION BUS WASH PLAN
 SCALE: 1/4" = 1'-0"



2 ENLARGED UPGRADED BUS WASH PLAN
 SCALE: 1/4" = 1'-0"



GENERAL NOTES:

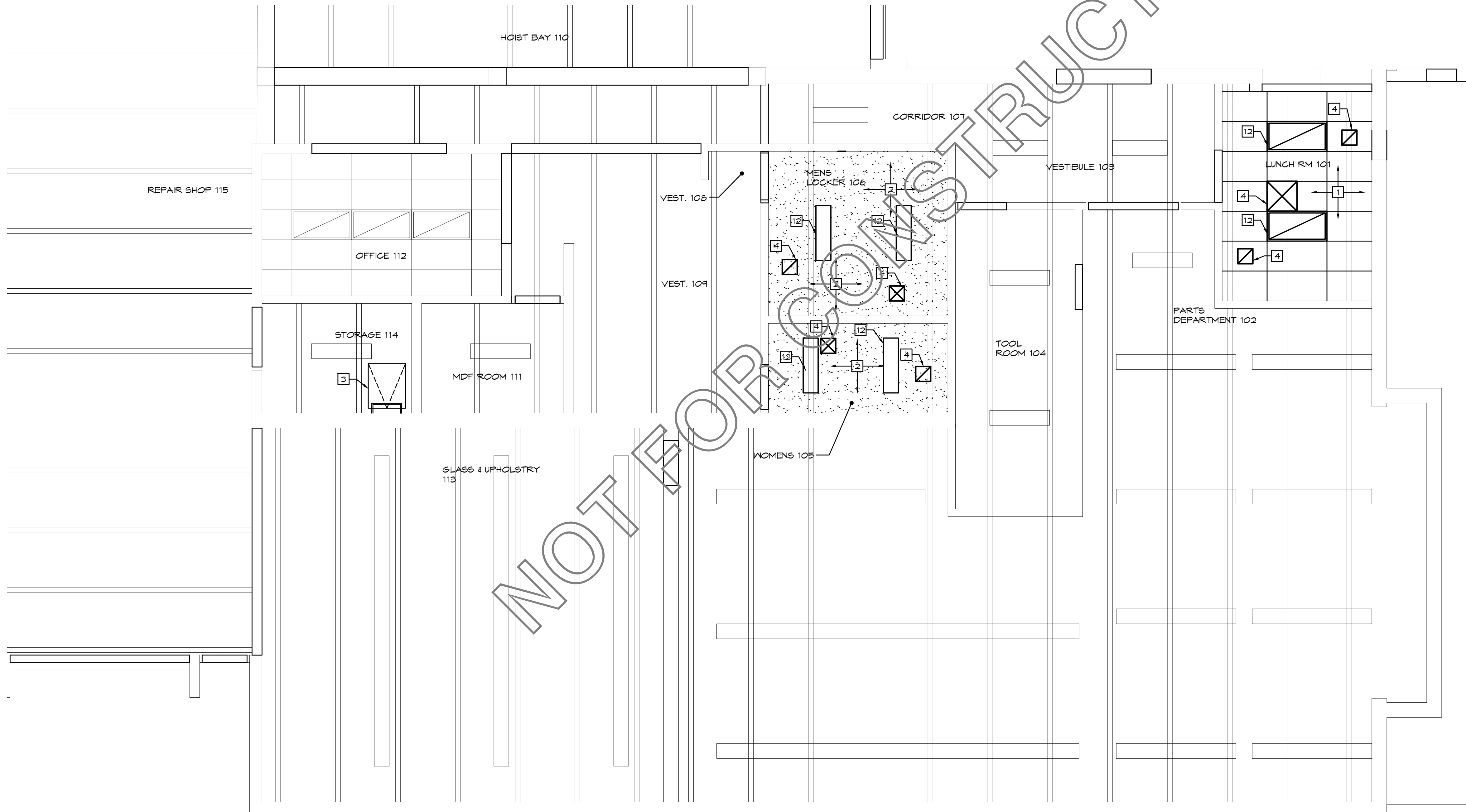
- AREAS WHERE ONLY DUCT REPLACEMENT IS OCCURRING, SALVAGE ALL CLEAN, UNBROKEN CEILING TILE FOR RE-INSTALLATION. CONTRACTOR TO REMOVE TILE & GRID NECESSARY FOR MECHANICAL WORK, RE-INSTALL NON-DAMAGED GRID OR NEW GRID. RE-INSTALL ALL MECHANICAL & ELECTRICAL DEVICES REMOVED & SUSPENDED ACOUSTICAL CEILING.
- CONTRACTOR WILL HAVE CEILING TILE & GRID REMOVED FROM ROOMS WHERE FULL REMODELS ARE OCCURRING. THIS TILE CAN BE USED IN THE DUCT REPLACEMENT AREAS. MAKE EVERY EFFORT TO MATCH TILE IN ROOMS W/REPLACED TILE. CONTRACTOR RESPONSIBLE FOR REPLACING ALL CEILING & GRID REMOVED, WHETHER BY REUSE OF GOOD EXISTING CEILING TILES OR REPLACEMENT WITH MATCHING NEW TILES.
- NOT USED.
- EXISTING LIGHTING TO BE RE-INSTALLED IN ALL AREAS WHERE ONLY DUCT REPLACEMENT IS OCCURRING. AREAS WHERE ROOMS ARE REMODELED & RECONFIGURED, NEW LIGHTING WILL BE INSTALLED. RE-ELECTRICAL ROOMS FOR LOCATIONS OF REUSE & NEW FIXTURES.

LEGEND: ALL REFLECTED CEILING PLANS

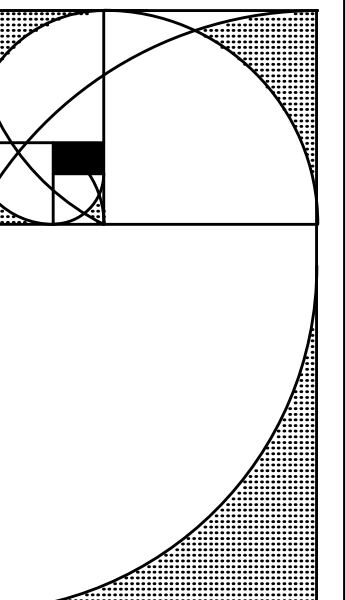
- (E) RECESSED FLUORESCENT LIGHT FIXTURE TO BE REMOVED AND REPLACED OR RELOCATED
- NEW OR RELOCATED RECESSED FLUORESCENT LIGHT FIXTURE
- (E) RECESSED FLUORESCENT LIGHT FIXTURE, PROTECT DURING CONSTRUCTION
- (E) SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- (E) SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE TO BE REMOVED
- NEW RECESSED DOWNLIGHT FIXTURE
- NEW SURFACE MOUNTED LIGHT FIXTURE
- REMOVE (E) WALL MOUNTED LIGHT FIXTURE
- (E) WALL MOUNTED LIGHT FIXTURE TO REMAIN
- RELOCATED WALL MOUNTED LIGHT FIXTURE
- SUSPENDED ACOUSTICAL CEILING TILE AND GRID- TO BE REMOVED AND REPLACED
- NEW SUSPENDED ACOUSTICAL CEILING TILE AND GRID
- (E) SUSPENDED ACOUSTICAL CEILING TILE AND GRID- PROTECT DURING CONSTRUCTION
- (E) GYP. BD. CEILING TO BE DEMOLISHED AS REQ'D FOR STRUCTURAL & MECHANICAL WORK
- (N) GYP. BD. CEILING MATCH (E), PATCH AND PAINT AS ORIGINAL CONDITIONS AFTER PERFORMED STRUCTURAL & MECHANICAL WORK
- CEILING HEIGHT
- EXISTING SUPPLY AIR GRILLE, RE: MECH.
- EXISTING RETURN AIR GRILLE, RE: MECH.
- NEW SUPPLY AIR GRILLE, RE: MECH.
- NEW RETURN AIR GRILLE, RE: MECH.
- EXIT LIGHT
- SINGLE FACE EXIT SIGN
- DOUBLE FACE EXIT SIGN
- WALL MOUNTED STROBE
- MANUAL PULL STATION
- SMOKE DETECTOR
- WALL MOUNTED FIRE HORN W/STROBE

RCP KEY NOTES: ALL RCP'S

- PROVIDE (N) SUSPENDED ACOUSTICAL CEILING AND GRID ASSEMBLY COMPLETE AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL & TECHNOLOGY DRAWINGS FOR FURTHER INFORMATION.
- PROVIDE (N) GYPSUM BOARD CEILING ASSEMBLY COMPLETE AS REQUIRED. COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL & TECHNOLOGY DRAWINGS FOR FURTHER INFORMATION.
- INSTALL NEW ACCESS HATCH ASSEMBLY COMPLETE. PATCH AND CAULK AS NECESSARY AFTER INSTALLED ACCESS. TRADE WITH MECHANICAL, ELECTRICAL, PLUMBING AND TECHNOLOGY DRAWING FOR FURTHER INFORMATION.
- PROVIDE (N) MECHANICAL DEVICES ASSEMBLY COMPLETE. RE: MECHANICAL DRAWINGS.
- (E) FIXTURES LIGHT RELOCATED. RE: ELECTRICAL DRAWINGS.
- (E) MECHANICAL DEVICES RELOCATED. RE: MECHANICAL.
- PROVIDE (N) GYPSUM BOARD FINISH AT (E) SOFFIT FRAMING. RE-INSTALL (E) RECESSED LIGHTS FIXTURES.
- MODIFY AND RESET (E) SUSPENDED CEILING ASSEMBLY SYSTEM AS NECESSARY AFTER INSTALL NEW WALL. TRADE WITH MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DRAWINGS FOR FURTHER INFORMATION.
- PATCH AND PAINT AS REQUIRED TO (E) SOFFIT AFTER NEW SUSPENDED CEILING TILE AND NEW KITCHEN CABENORK. TRADE WITH MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DRAWINGS FOR FURTHER INFORMATION.
- PROVIDE (N) EXIT LIGHT ASSEMBLY COMPLETE. RE: ELECTRICAL DWGS.
- PROVIDE (N) METAL SOFFIT ASSEMBLY COMPLETE.
- PROVIDE (N) LIGHTING FIXTURES ASSEMBLY COMPLETE. RE: ELECTRICAL DRAWINGS.
- PROVIDE (N) MECHANICAL DUCT. RE: MECHANICAL DWGS.
- (E) SECURITY LIGHT RELOCATED. RE: ELECTRICAL DWGS.
- (E) LIGHT TO REMAIN, PROTECT DURING CONSTRUCTION PROCESS.



1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



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5565 S. CROCKER ST
LITTLETON, COLORADO 80120

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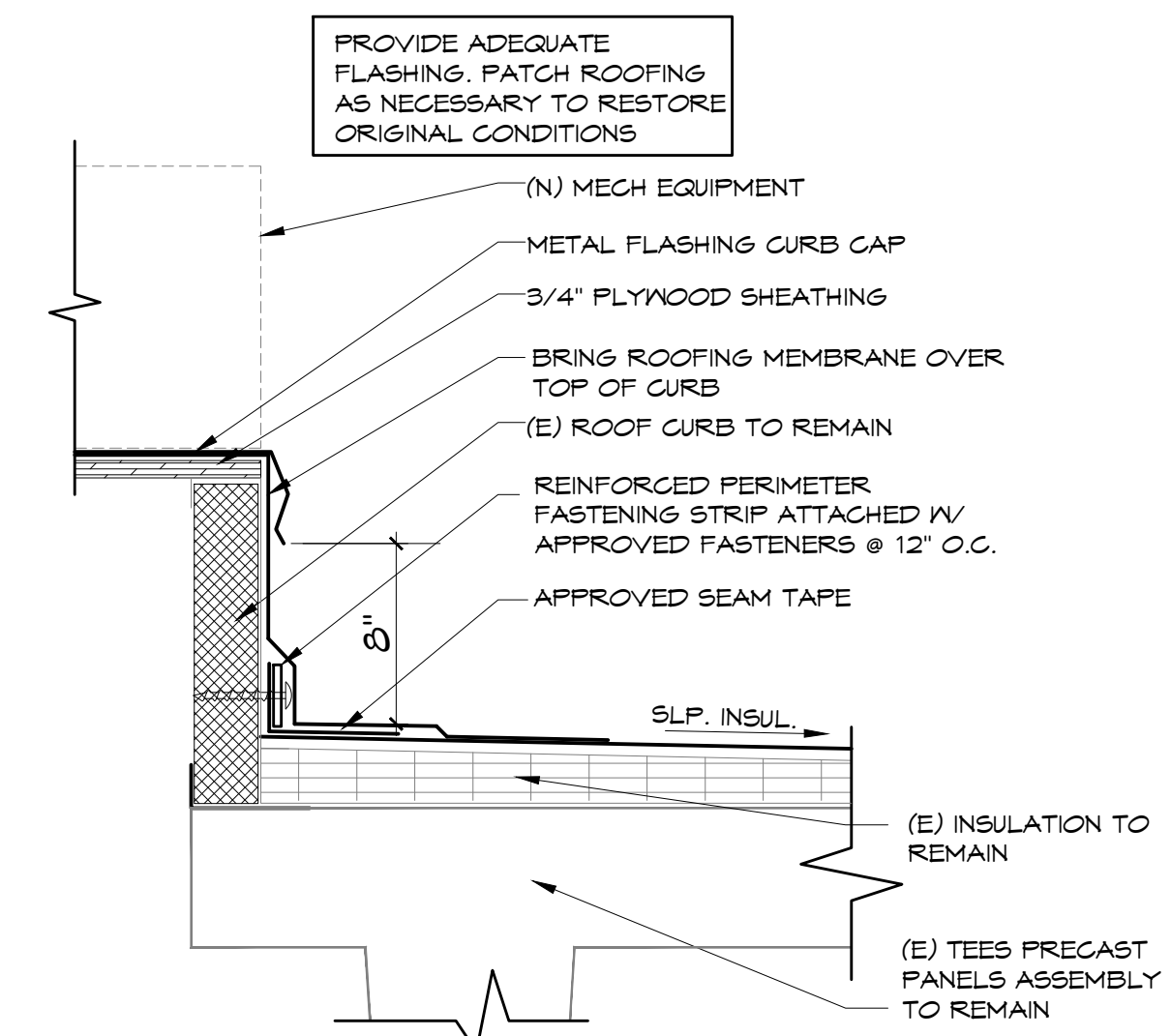
NOT FOR CONSTRUCTION

DATE:
PROJECT NO: 14101B
ISSUE:
**50%
CONSTRUCTION
DOCUMENTS**

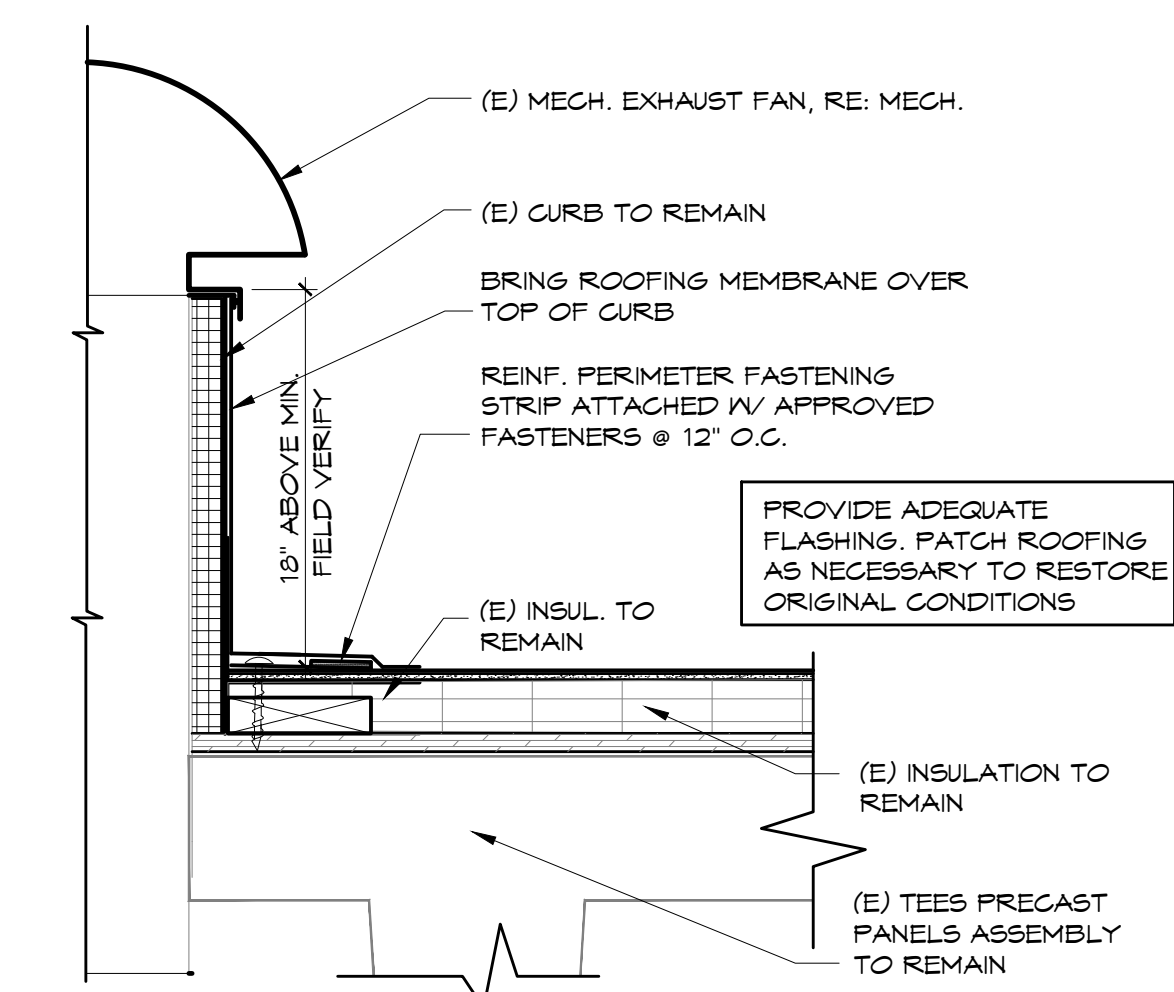
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FILE NAME:
A2.1_RCP

DWG NAME:
**FIRST FLOOR
REFLECTED
CEILING PLAN**

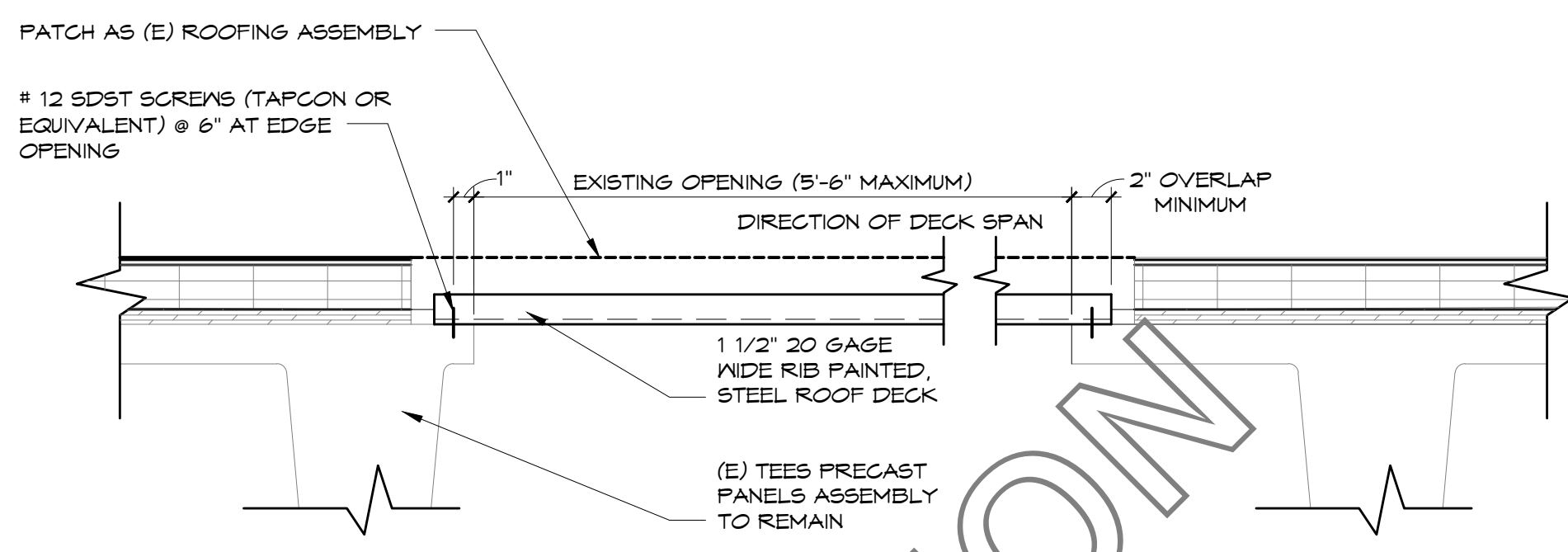
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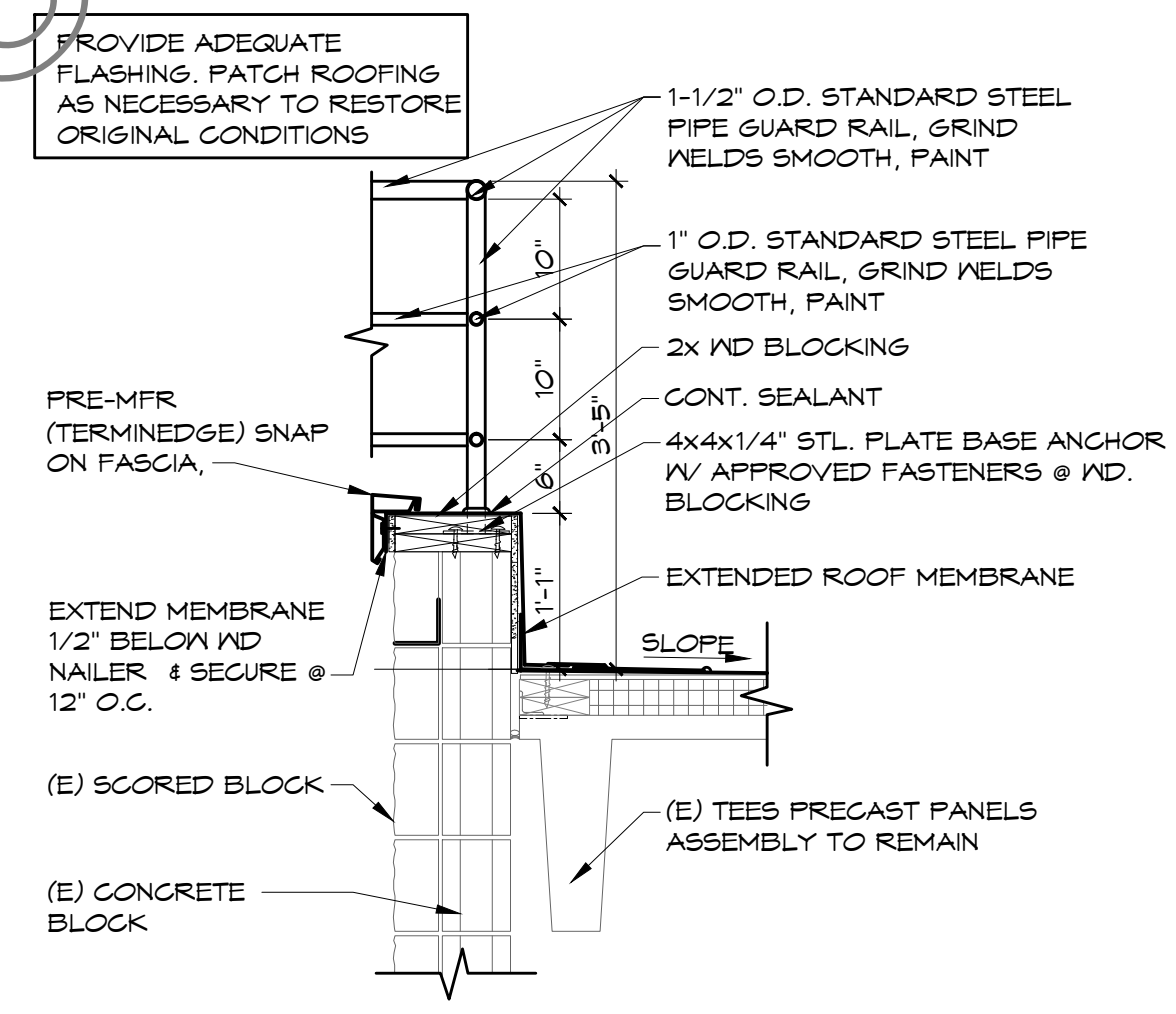
2 MECHANICAL PLATFORM DTL.
SCALE: 1 1/2" = 1'-0"



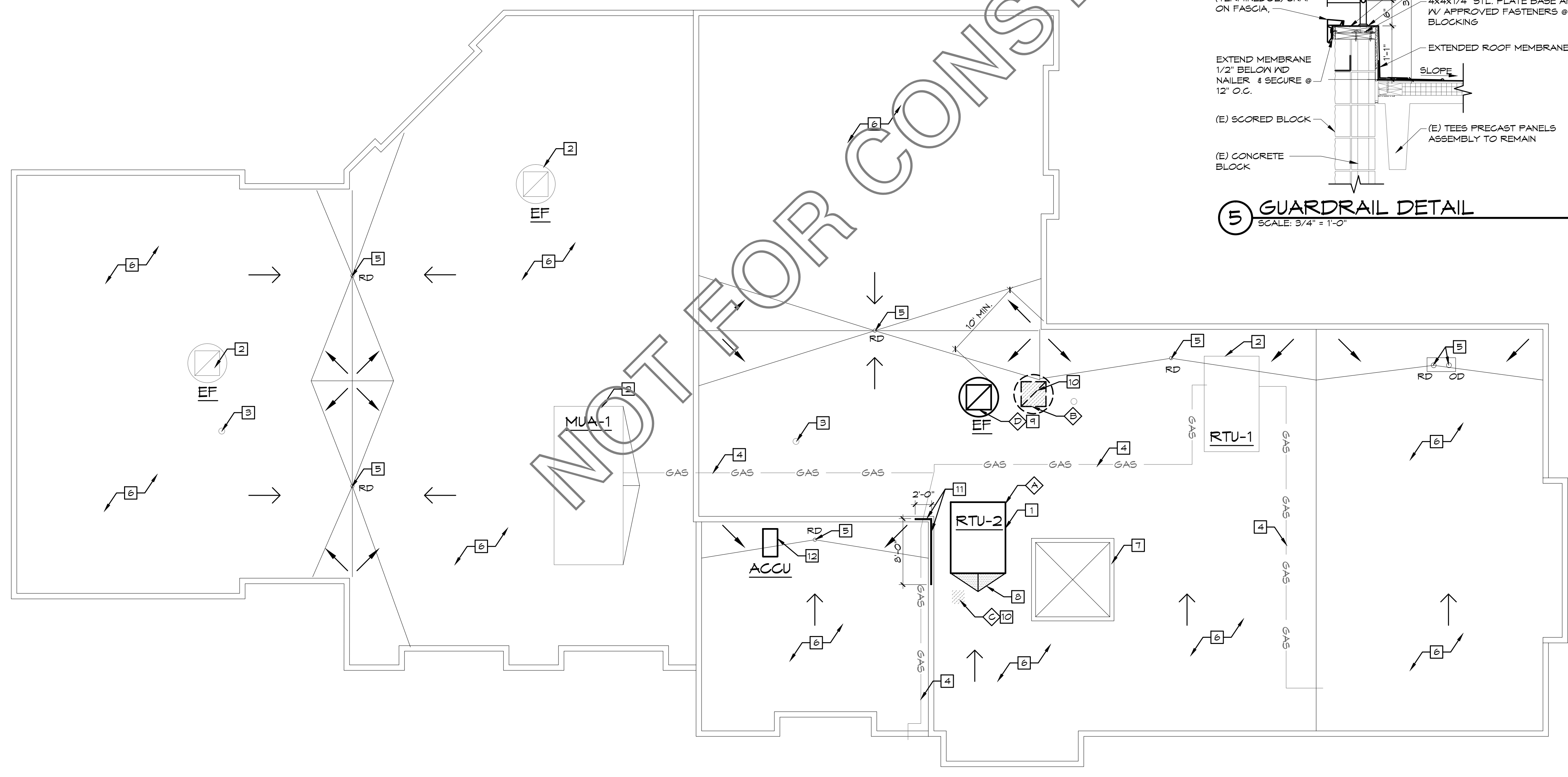
3 MECH EXHAUST FAN DTL
SCALE: 1 1/2" = 1'-0"



4 INFILL ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



5 GUARDRAIL DETAIL
SCALE: 3/4" = 1'-0"



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

LEGEND - ROOF PLAN:

- (E) ROOF DRAIN
- (E) OVERFLOW ROOF DRAIN
- TAPERED INSULATION SLOPE
- (E) STRUCTURE SLOPE
- (E) ROOF DRAIN
- (E) EXHAUST FAN
- (E) SKYLIGHT
- NEW TAPERED INSULATION MATCH EXISTING
- (E) SHEET METAL CAP AND CURB
- (E) ROOF FLUE

GENERAL NOTES: ROOF PLANS ONLY

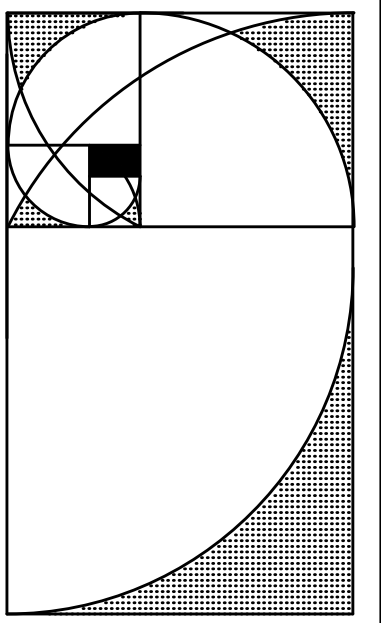
- a. NEW CRICKET AT NEW EQUIPMENT SHALL BE ON HIGH SIDE.
- b. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, EQUIPMENT AND PENETRATIONS BEFORE TO INSTALL NEW MECHANICAL EQUIPMENT.
- c. ALL WORK PERFORMED ON THE ROOF SHALL BE DONE IN ACCORDANCE WITH THE ROOFING MANUFACTURERS RECOMMENDATION, CITY CODE REQUIREMENTS AND EXISTING WARRANTIES, UNDER NOT ANY CIRCUMSTANCES WILL WORK BE PERMITTED THAT VOIDS THE ROOF WARRANTY.
- d. PROVIDE CONT. SEALANT AT NEW METAL FLASHING.
- e. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ANY ADDITIONAL ROOF TOP EQUIPMENT, ROOF PENETRATIONS AND PLUMBING REQUIREMENTS NOT SHOWN ON THE ROOF PLAN.
- f. WHERE PENETRATIONS OCCUR IN EXISTING ROOF DUE TO THE NEW CONSTRUCTION, ROOF SHALL BE TEMPORARILY PATCHED AND REPAIRED (REFER TO SPECS) UNTIL NEW ROOFING AND FLASHING CAN BE INSTALLED. COORDINATE INSTALLATION OF NEW ROOF PENETRATIONS, REFER TO MECH DWS FOR LOCATIONS OF EXHAUST DUCTS, ETC.
- g. CONTRACTOR SHALL PROTECT EXISTING ROOF DURING CONSTRUCTION PROCESS.

DEMO NOTES: ROOF PLANS ONLY

- A. REMOVE EXISTING RTU EQUIPMENT AND FLASHING MATERIALS. CLEAN AND PREPARE TO RECEIVE NEW RTU EQUIPMENT AND NEW METAL FLASHING MATERIALS.
- B. REMOVE EXISTING EXHAUST FAN AND FLASHING MATERIALS. CLEAN AND PREPARE TO INFILL ROOF MATCH EXISTING, RE: DTL. 4/A3.1
- C. REMOVE EXISTING DUCTS. CLEAN AND PREPARE TO RECEIVE ROOF PATCHING.
- D. DEMO AS REQ'D TO INSTALL NEW DUCT PENETRATION, RE: TO MECHANICAL FOR SIZING AND LOCATION. FIELD VERIFY 10 MIN. FROM ROOF EDGE AS REQ'D PER IBC.

KEY NOTES: ROOF PLANS ONLY

1. INSTALL NEW RTU ASSEMBLY, REF DTL. 2/ A3.1, FOR ADDITIONAL INFORMATION RE: MECHANICAL DRAWINGS.
2. EXISTING MECHANICAL EQUIPMENT TO REMAIN. PROTECT DURING CONSTRUCTION PROCESS.
3. EXISTING ROOF VENTS TO REMAIN. PROTECT DURING CONSTRUCTION PROCESS.
4. EXISTING GAS PIPING LINE TO REMAIN. PROTECT DURING CONSTRUCTION PROCESS.
5. EXISTING ROOF AND/ OR OVERFLOW DRAIN TO REMAIN. PROTECT DURING CONSTRUCTION PROCESS.
6. EXISTING ROOFING ASSEMBLY TO REMAIN. PROTECT DURING CONSTRUCTION PROCESS.
7. EXISTING SKYLIGHT TO REMAIN. PROTECT DURING CONSTRUCTION PROCESS.
8. PROVIDE ROOFING CRICKET ON HIGH SIDE.
9. INSTALL NEW EXHAUST FAN ASSEMBLY, RE: DTL. 3/A3.1, FOR ADDITIONAL INFORMATION RE: MECHANICAL DRAWINGS
10. PATCH (E) ROOF AS REQUIRED, RE: DTL. 4/A3.1.
11. PROVIDE (N) GUARDRAIL ASSEMBLY, RE: DETAIL 5/ A3.1.
12. INSTALL (N) MECHANICAL EQUIPMENT ON ELEVATED PLATFORM, RE: MECHANICAL AND DTL. SIM. 2/A3.1. FIELD VERIFY 10 MIN. FROM EDGE AS REQ'D PER IBC.



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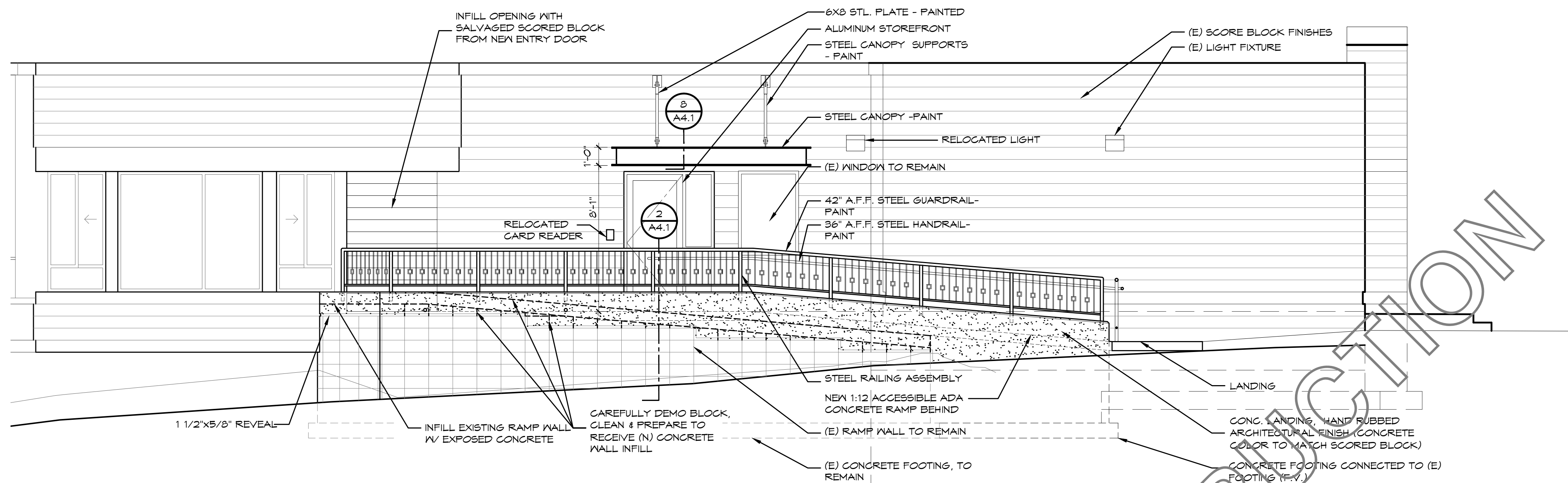
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50% CONSTRUCTION DOCUMENTS

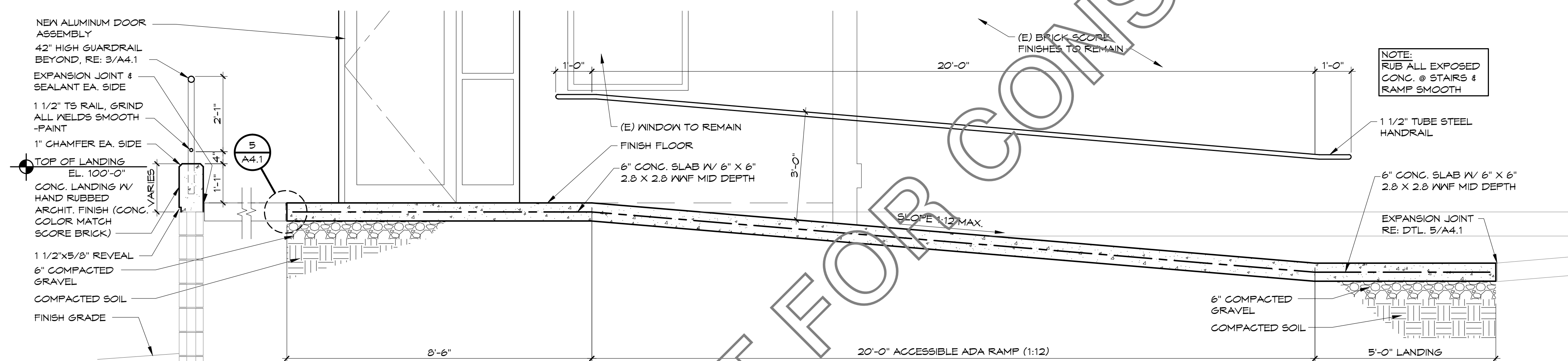
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FILE NAME: A3.1

DWG NAME:
ROOF PLAN

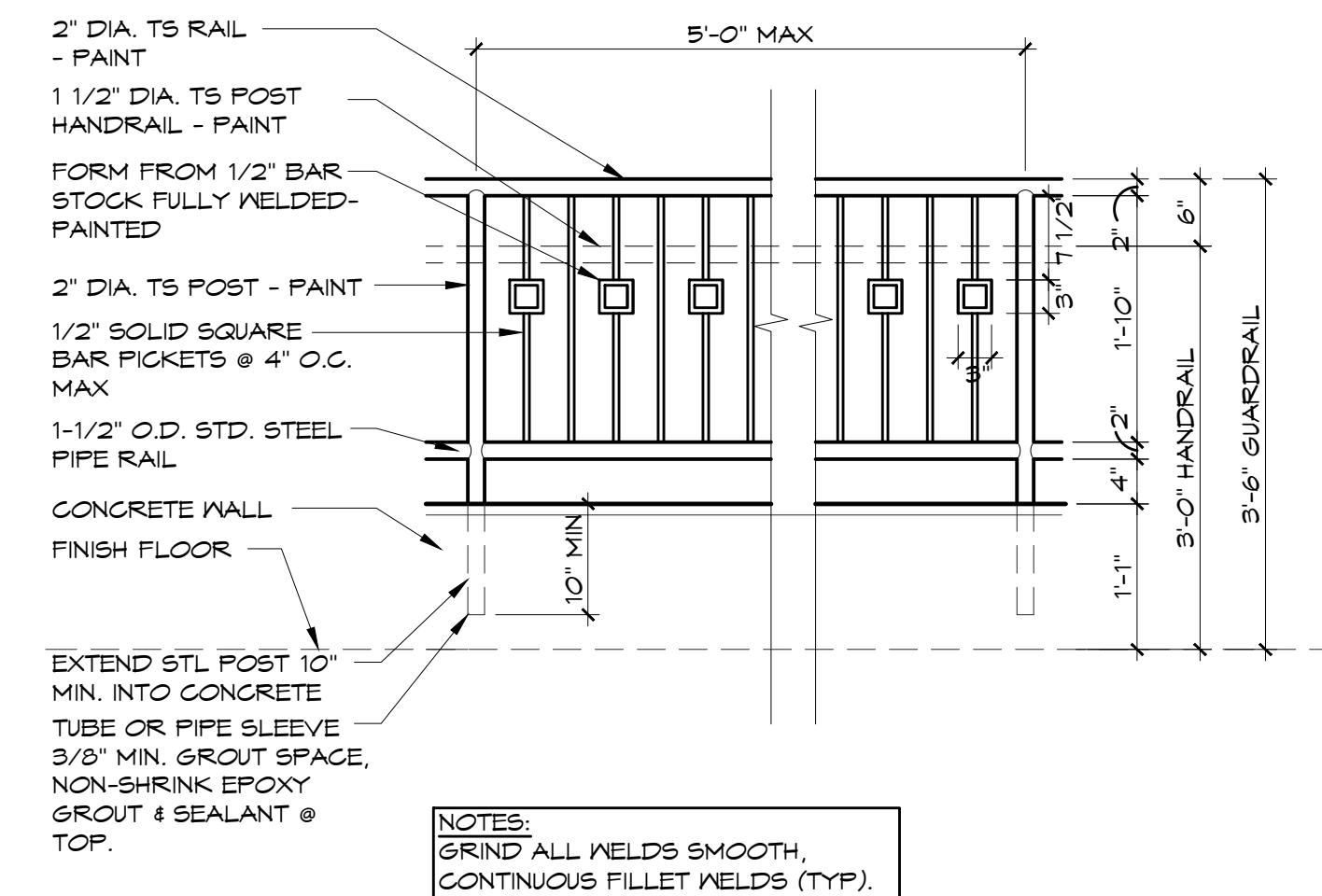
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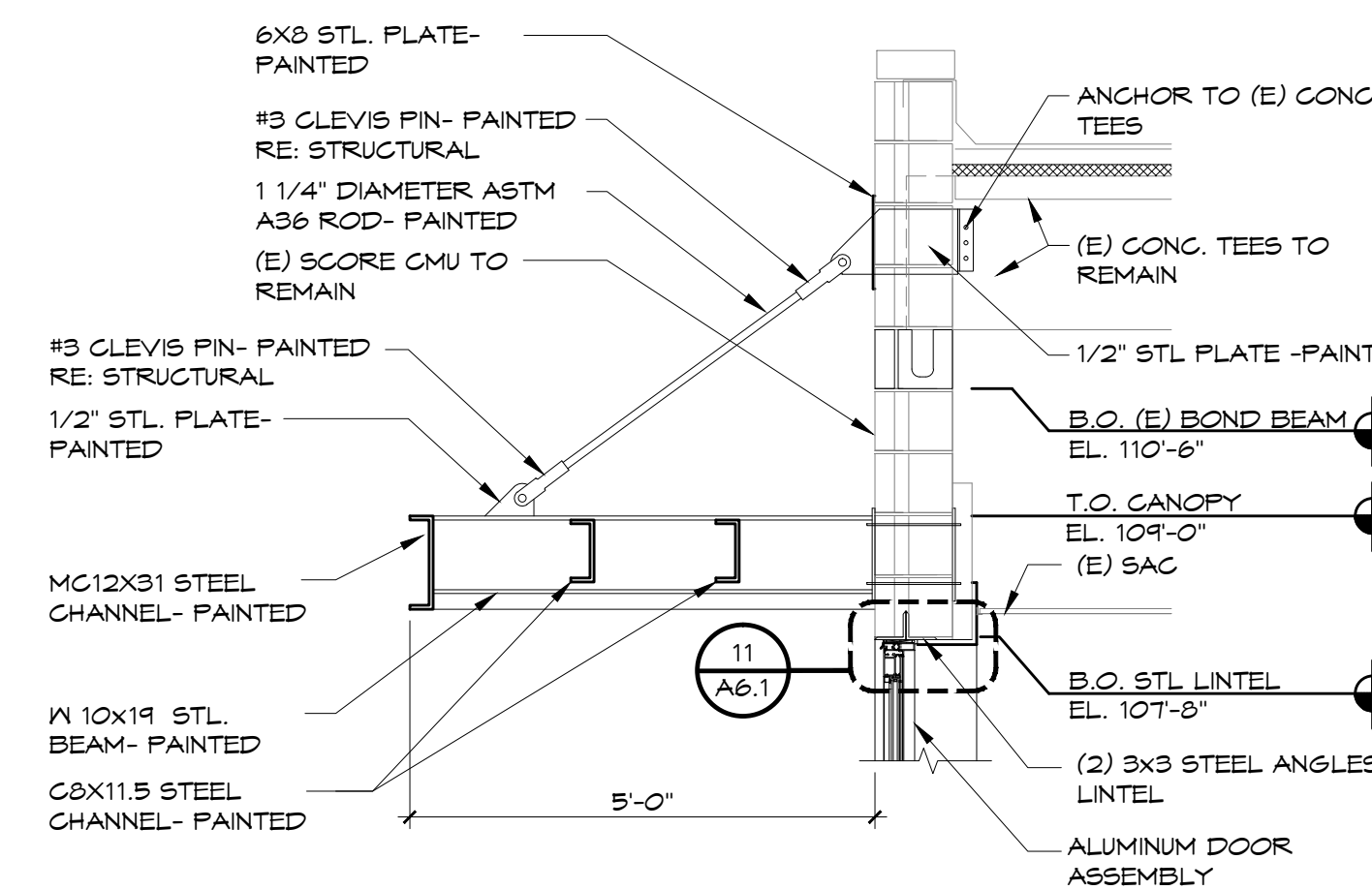
1 NEW ELEVATION W/ ADA RAMP
SCALE: 1/4" = 1'-0"



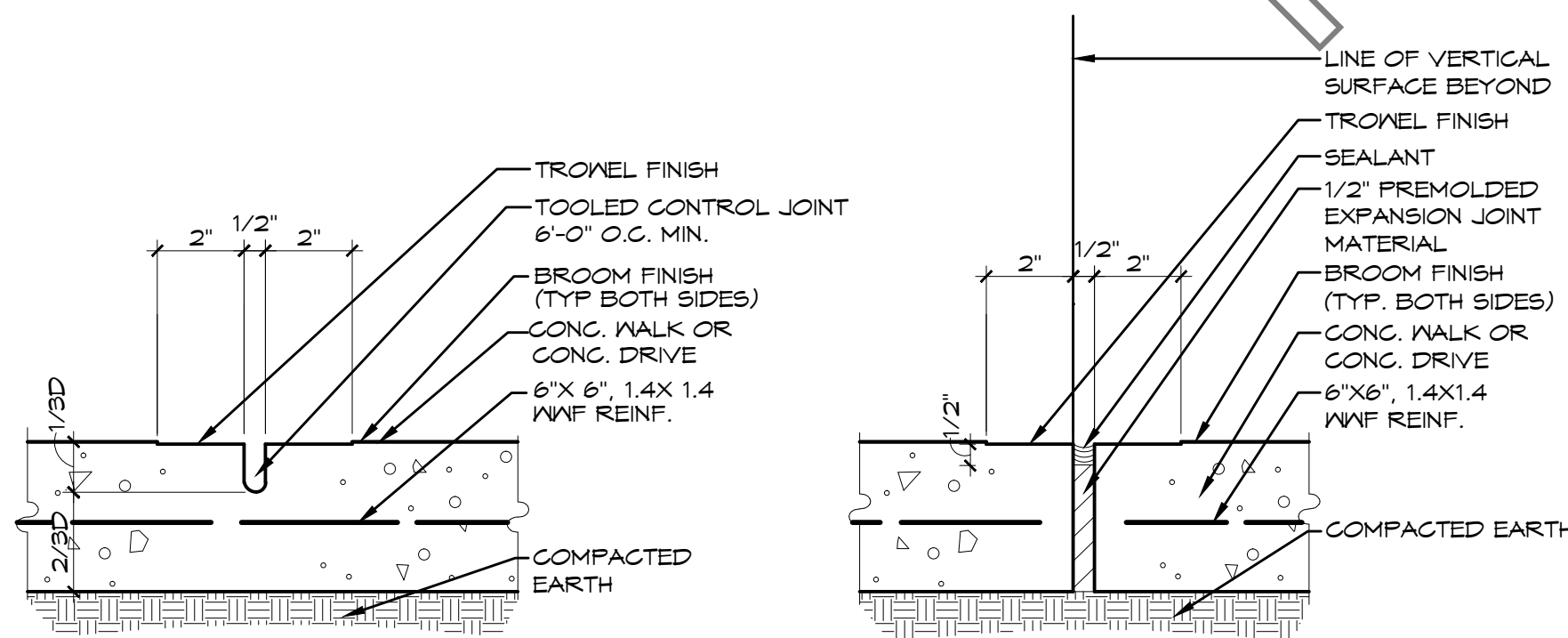
2 RAMP SECTION
SCALE: 1/2" = 1'-0"



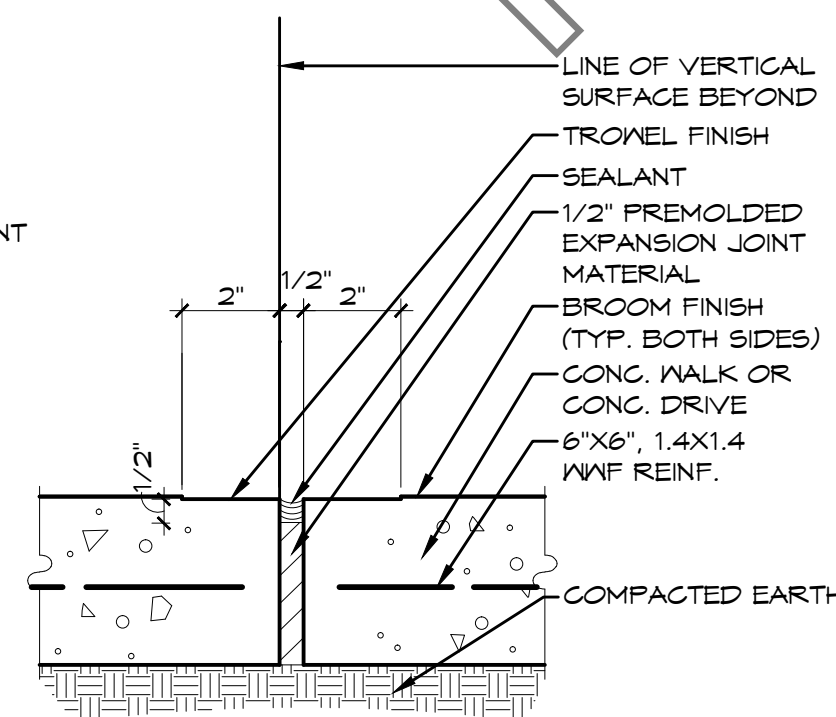
3 RAILING ELEVATION, TYP.
SCALE: 3/4" = 1'-0"



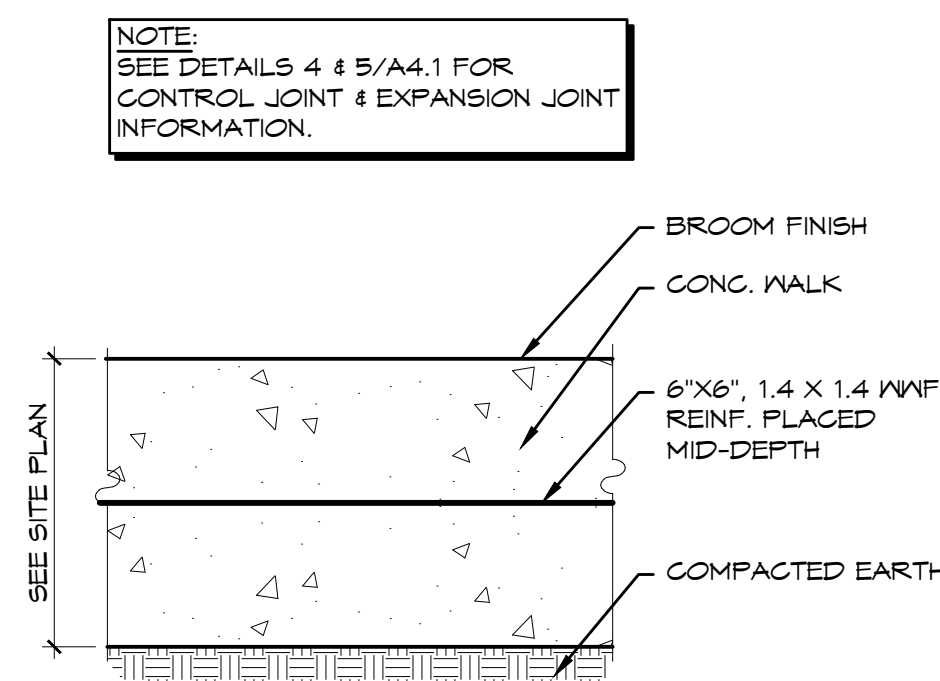
8 CANOPY DETAIL
SCALE: 1/2" = 1'-0"



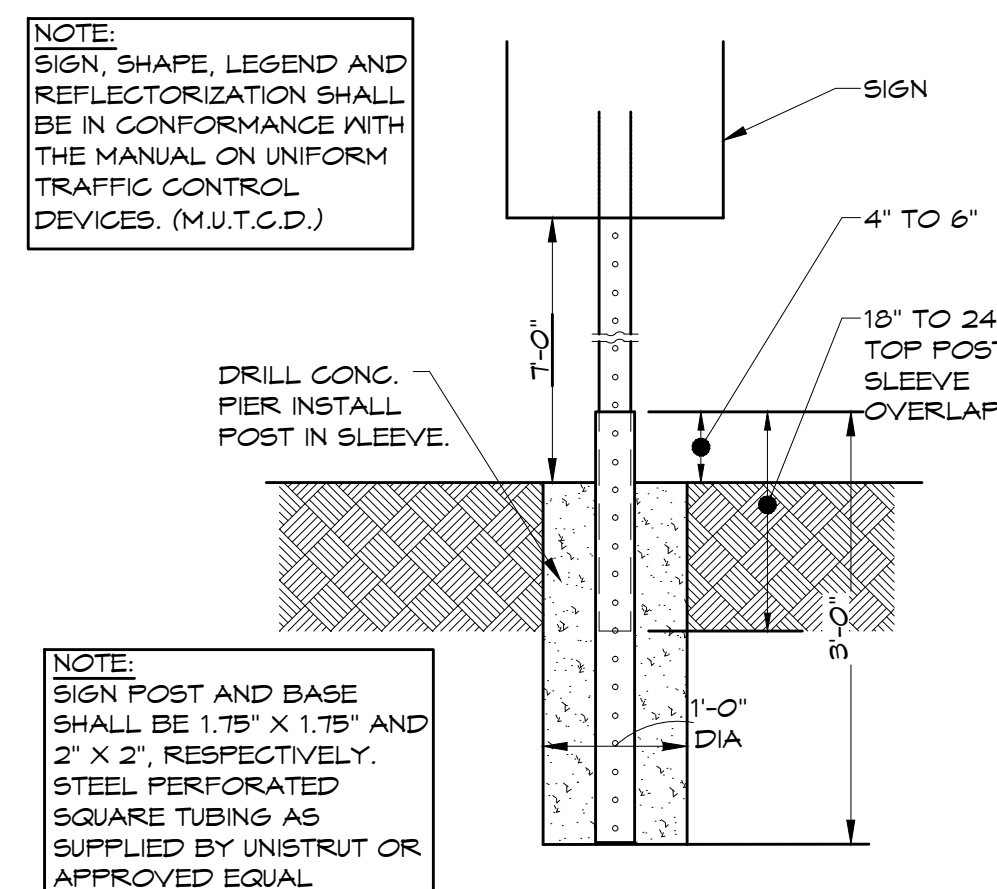
4 CONTROL JOINT
SCALE: 3" = 1'-0"



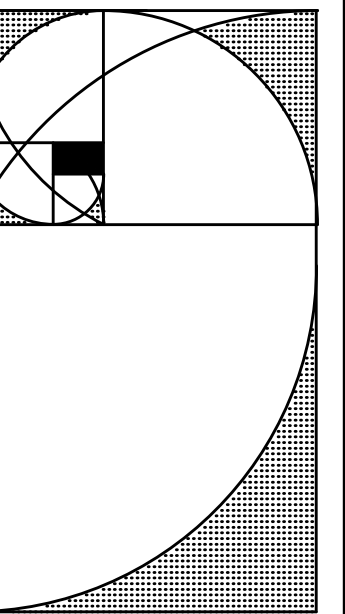
5 EXPANSION JOINT
SCALE: 3" = 1'-0"



6 CONCRETE DETAIL
SCALE: 3" = 1'-0"



7 SIGN BASE DETAIL
SCALE: 3/4" = 1'-0"



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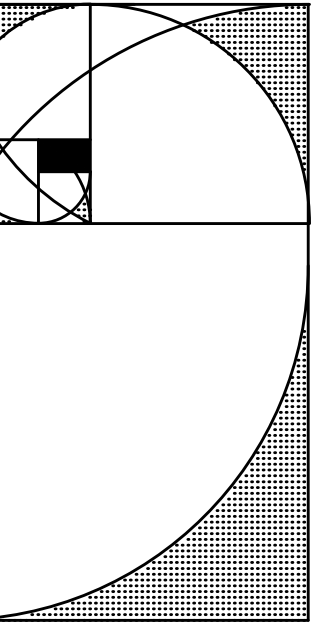
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PROJECT NO: 14101B
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CONSTRUCTION DOCUMENTS

DRAWN: KS-LZ
CHECKED: RET
FILE NAME: A4.1

DWG NAME:
EXTERIOR ELEVATIONS AND DETAILS

SHEET NO:
A4.1



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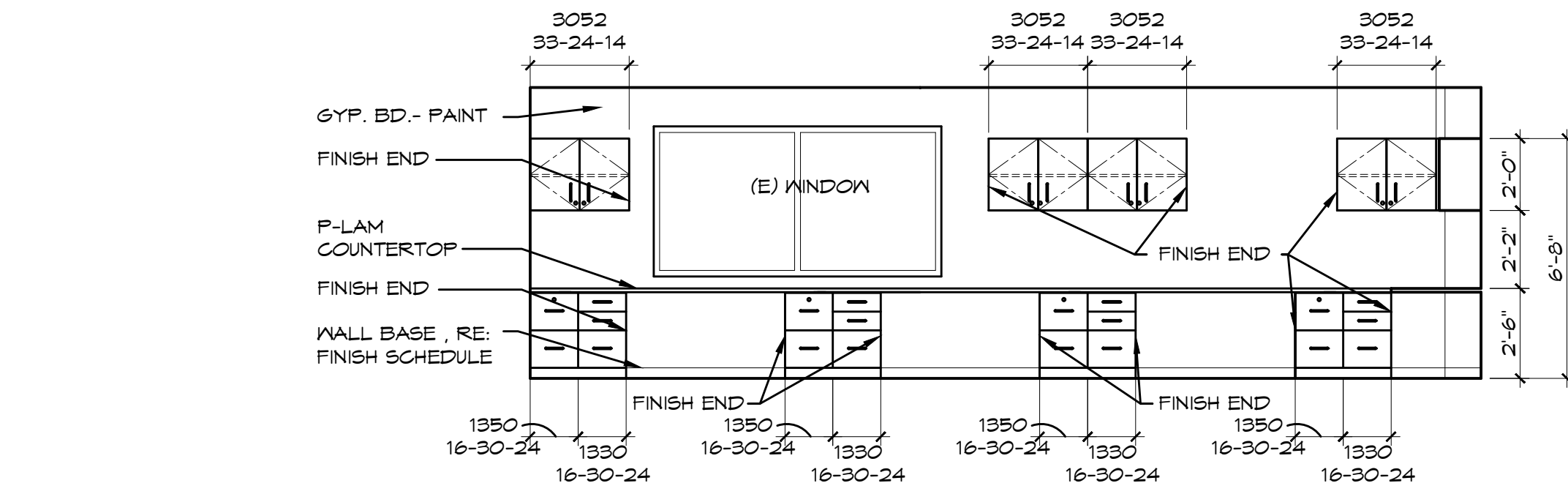
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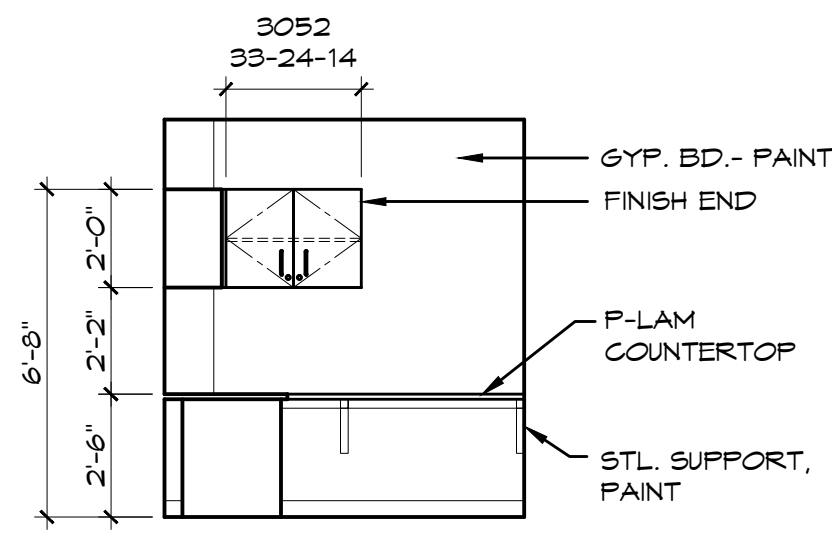
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DWG NAME:
 INTERIOR ELEVATIONS

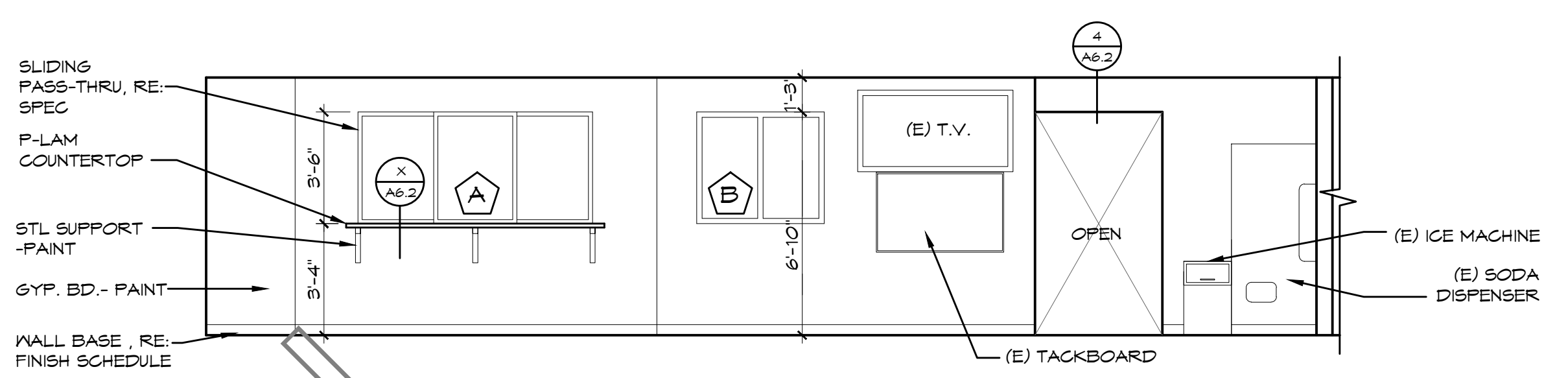
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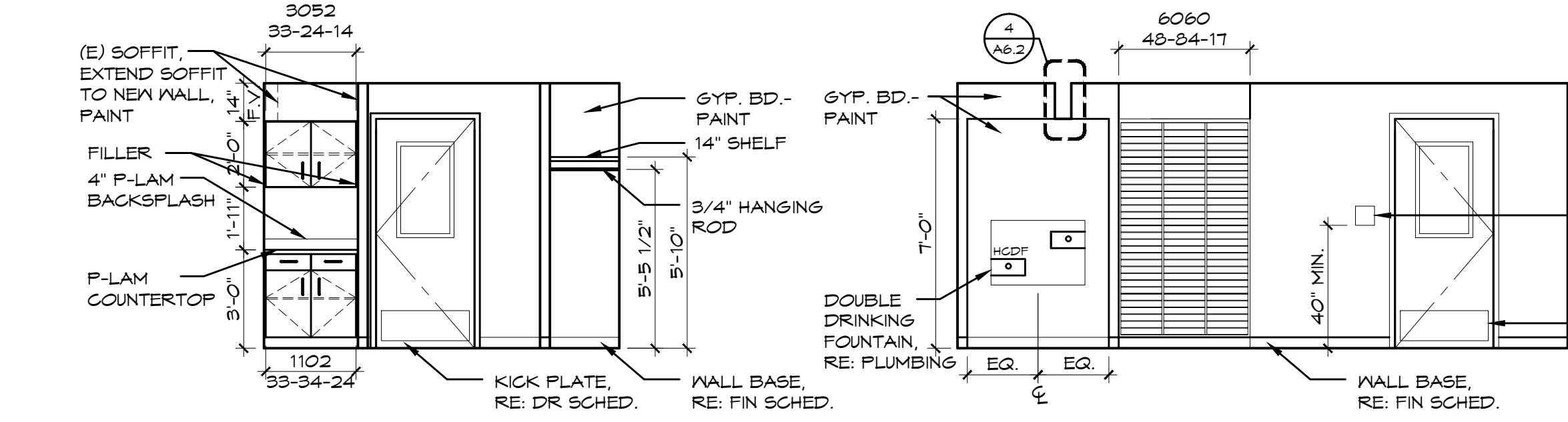
1 OFFICE 227
 SCALE: 1/4" = 1'-0"



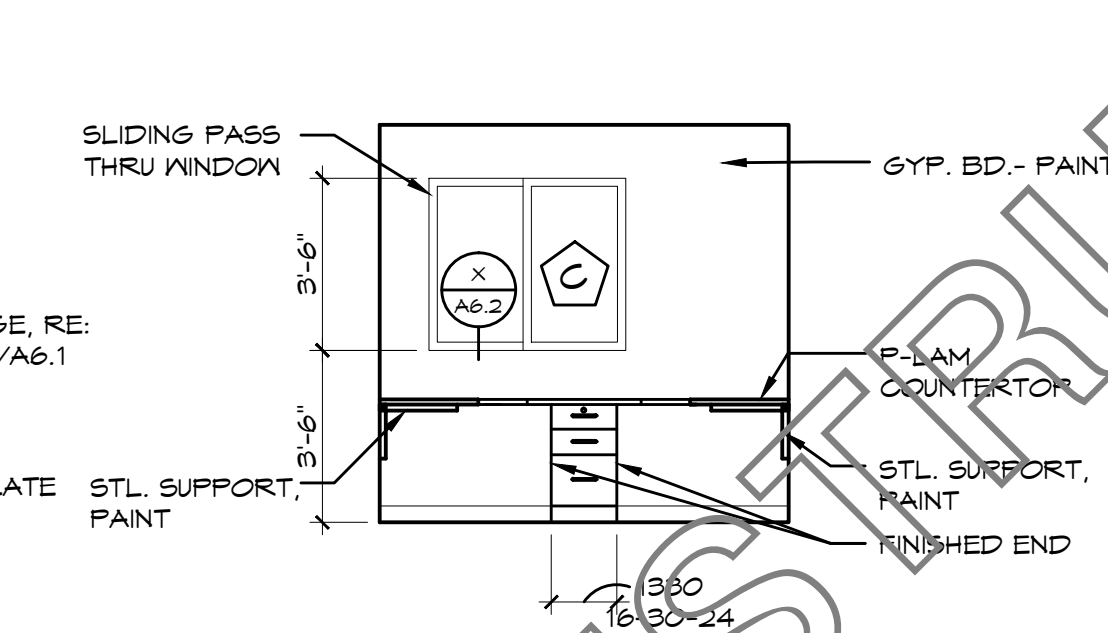
2 OFFICE 227
 SCALE: 1/4" = 1'-0"



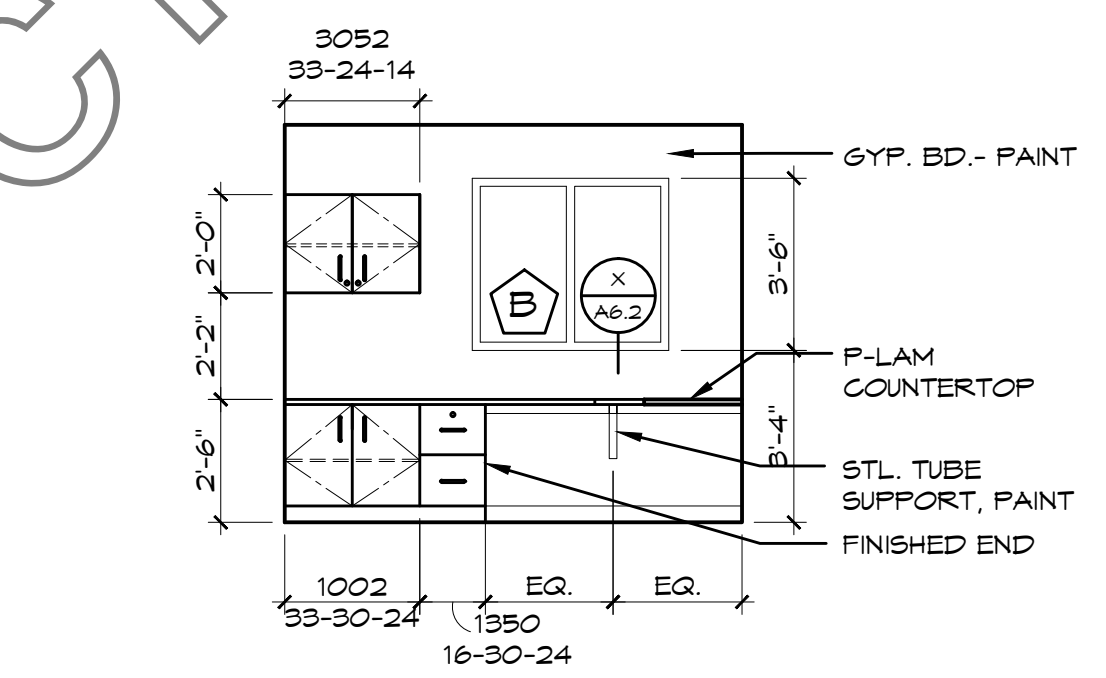
3 READY ROOM 201
 SCALE: 1/4" = 1'-0"



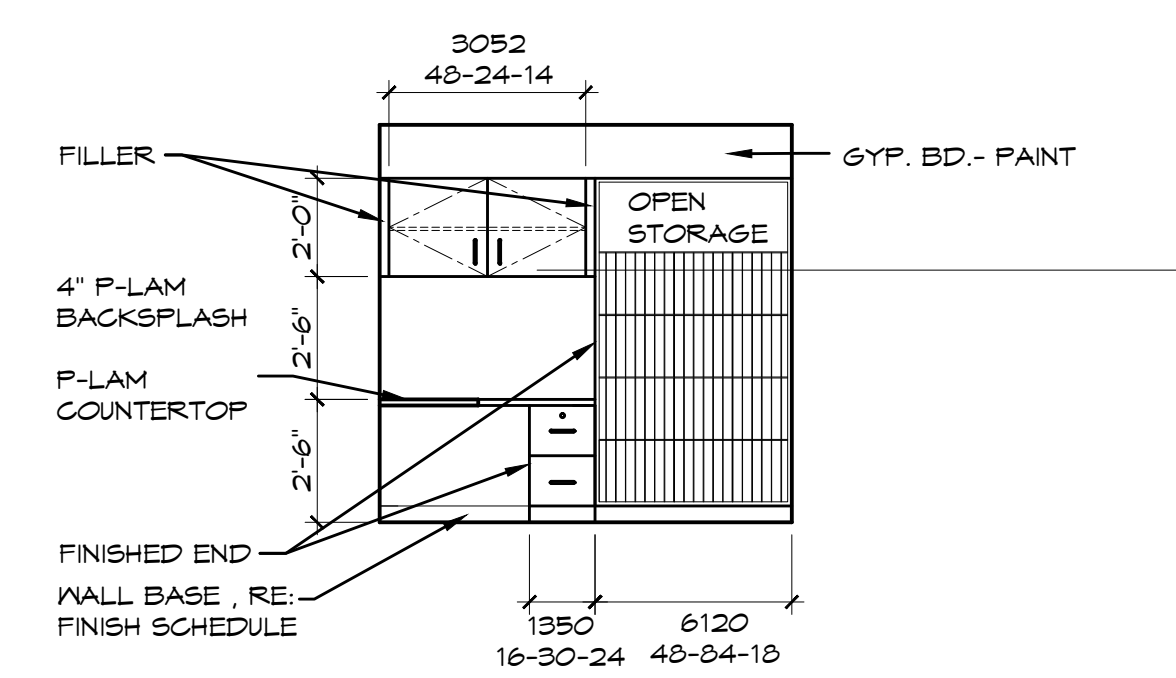
4 VESTIBULE 210A
 SCALE: 1/4" = 1'-0"



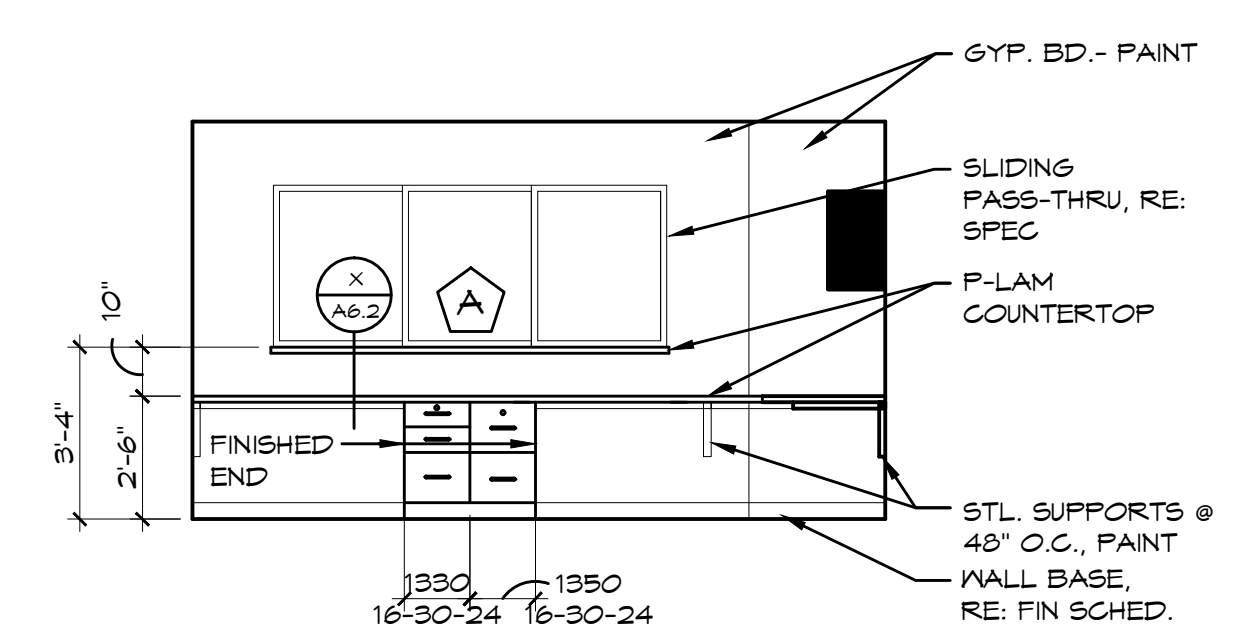
6 ROUTER OFFICE 208
 SCALE: 1/4" = 1'-0"



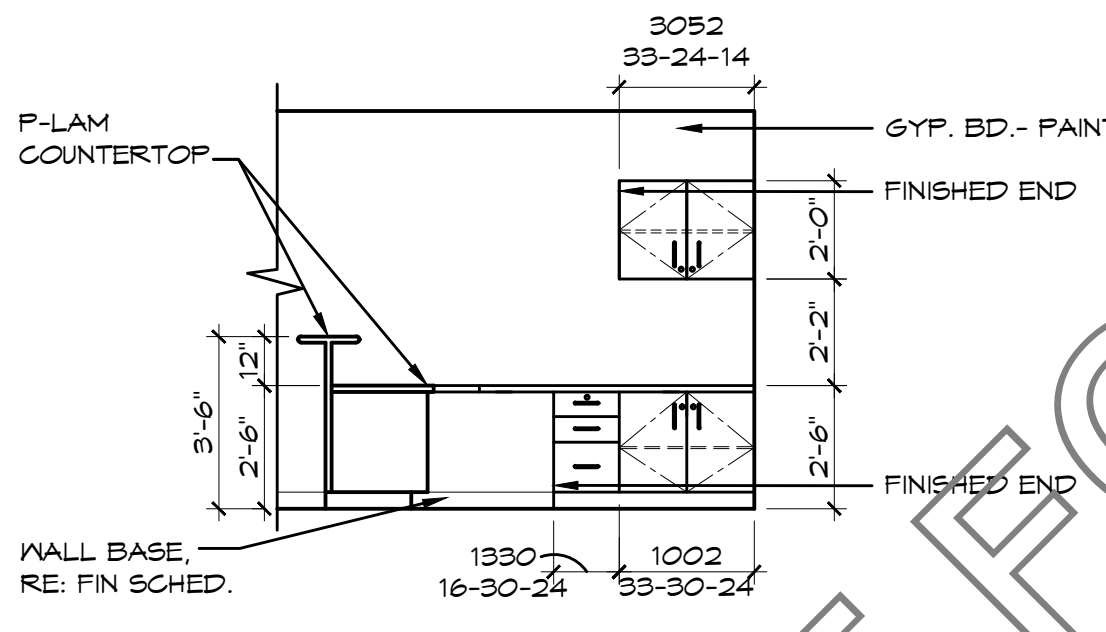
7 ROUTER OFFICE 208
 SCALE: 1/4" = 1'-0"



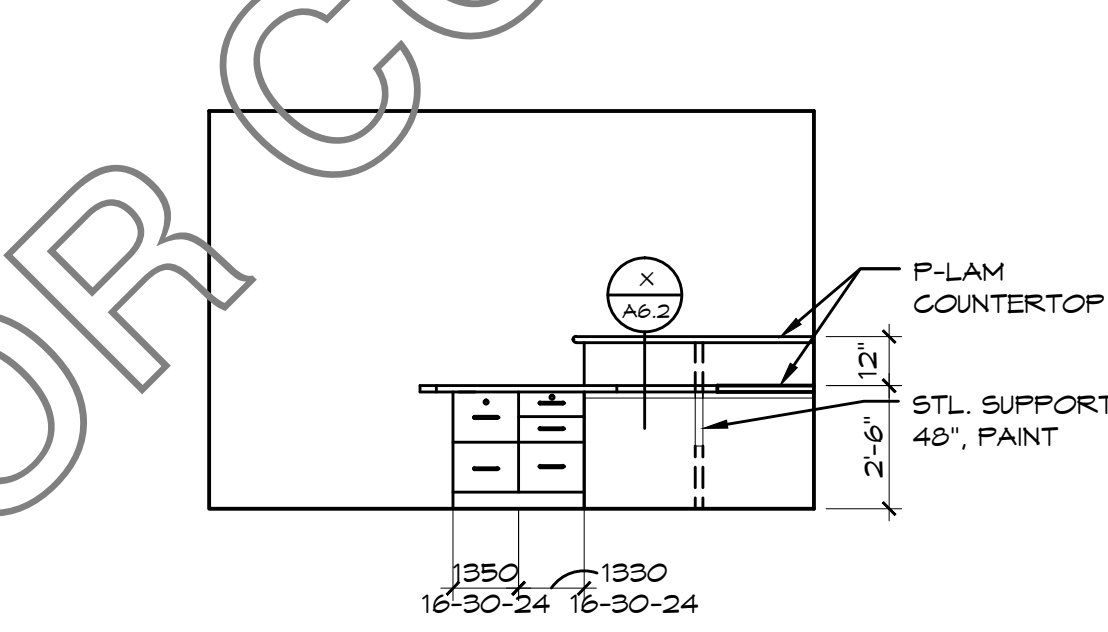
8 DISPATCH OFFICE 209
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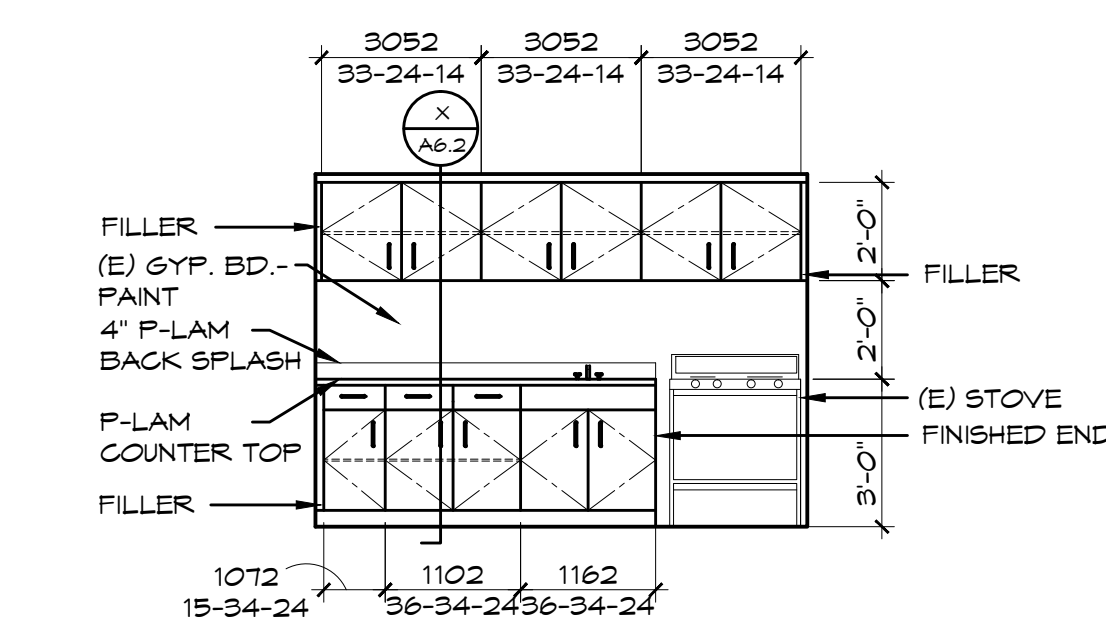
9 DISPATCH OFFICE 209
 SCALE: 1/4" = 1'-0"



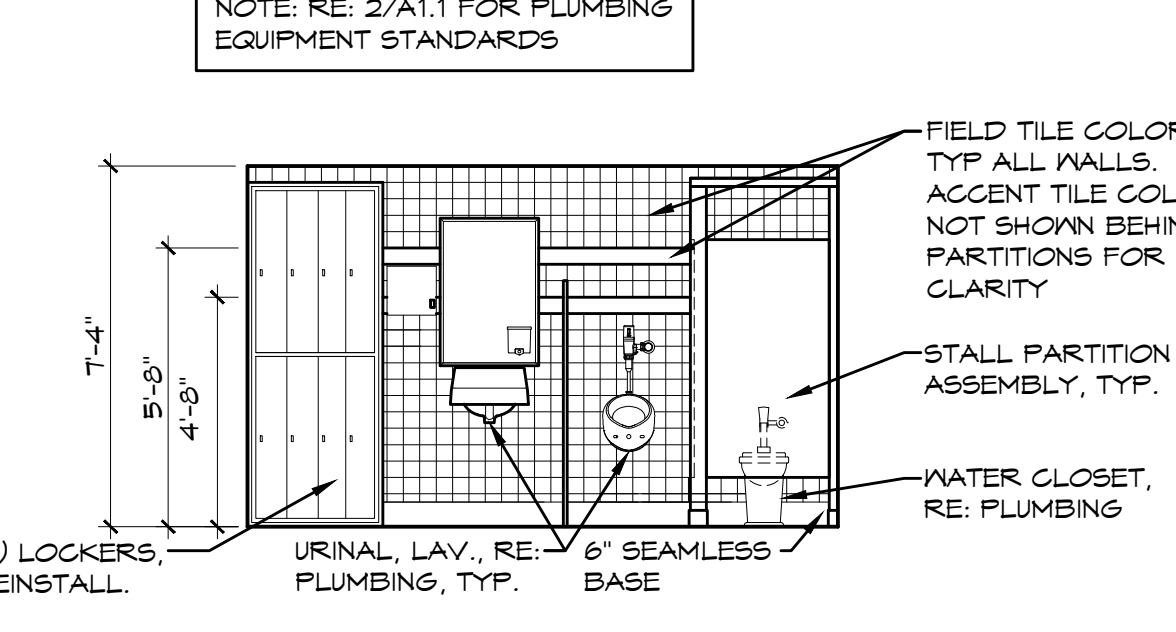
5 CORRIDOR 203
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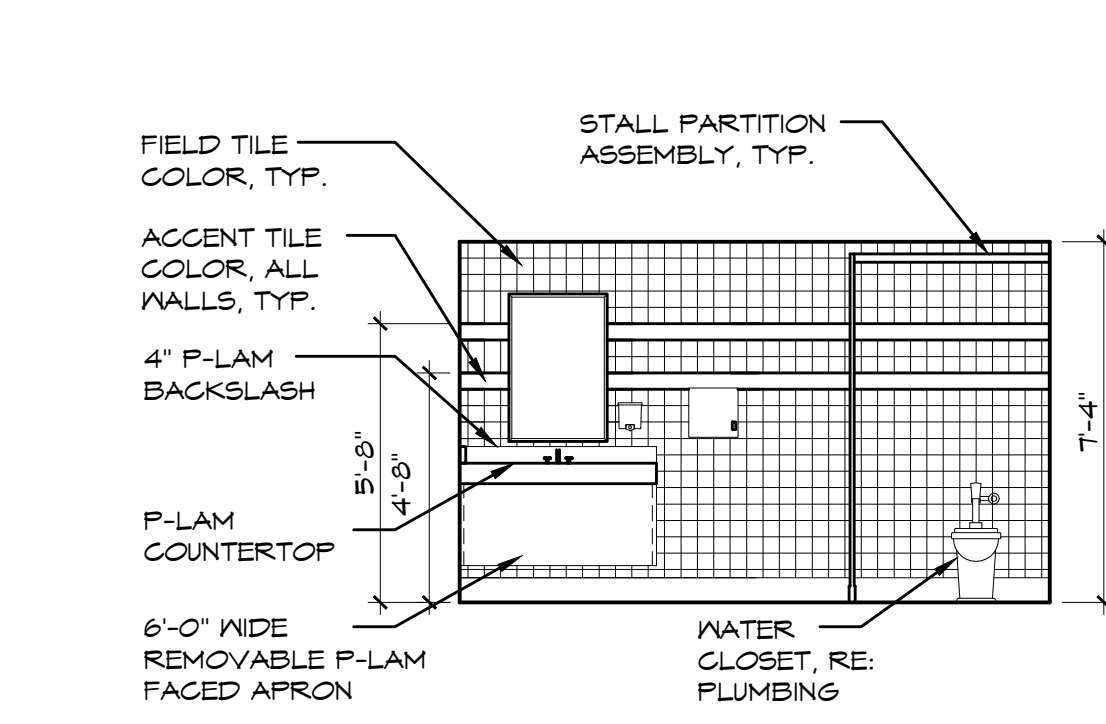
11 OFFICE 210
 SCALE: 1/4" = 1'-0"



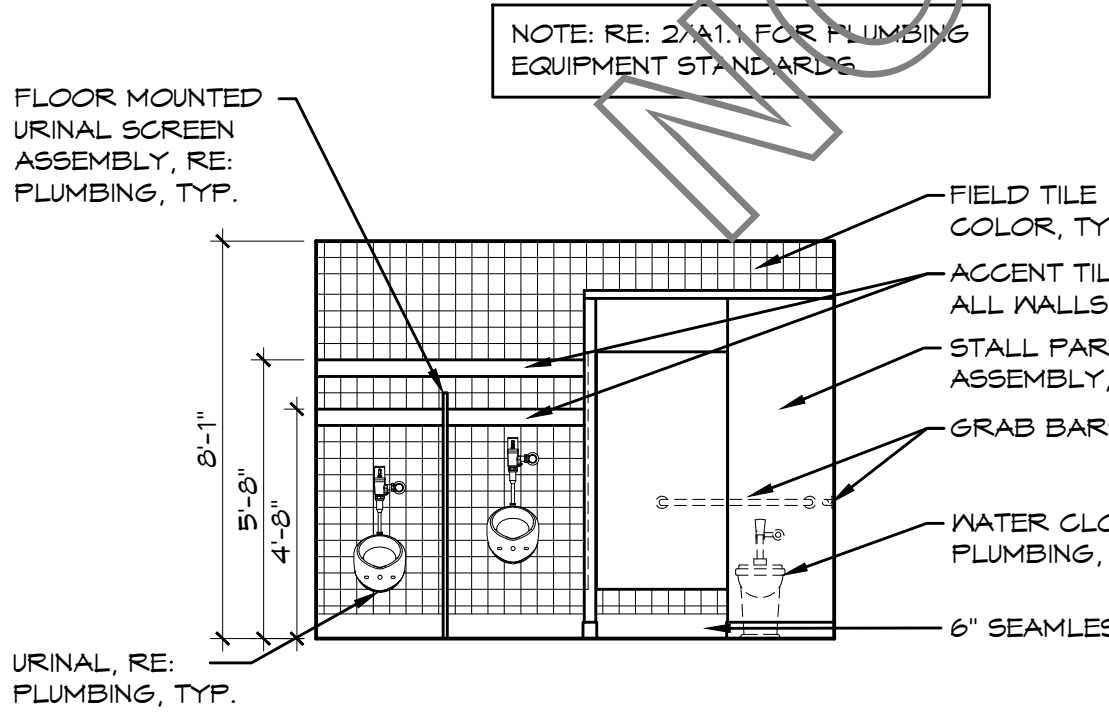
12 LUNCH ROOM 101
 SCALE: 1/4" = 1'-0"



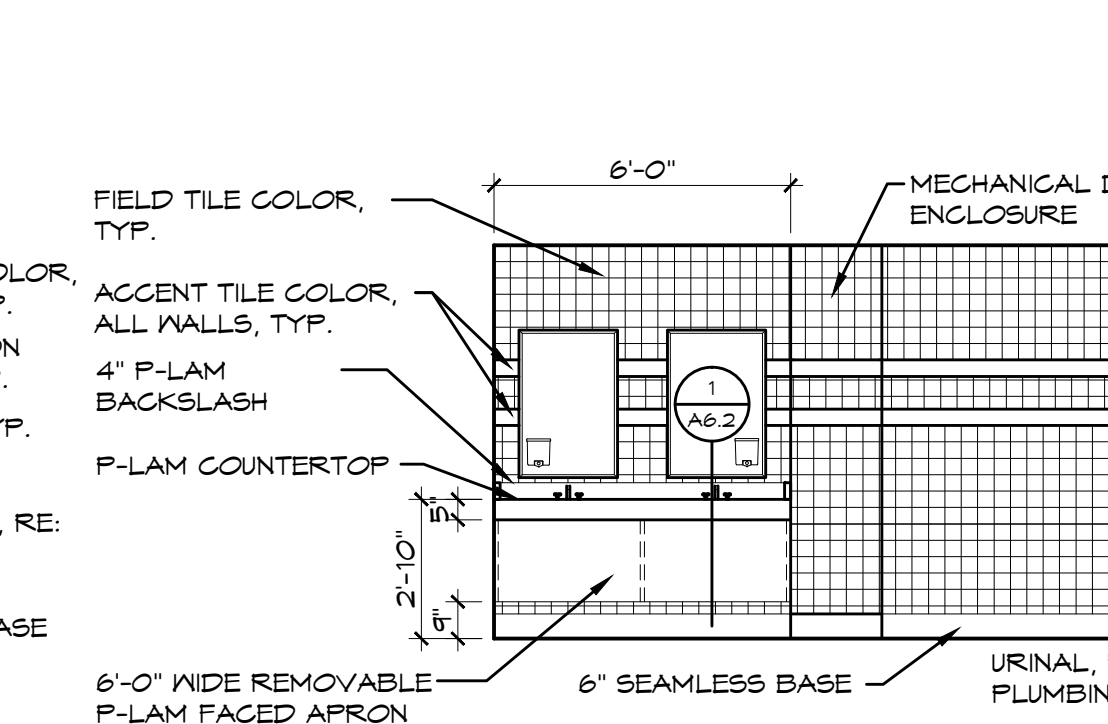
13 MENS LOCKER ROOM 106
 SCALE: 1/4" = 1'-0"



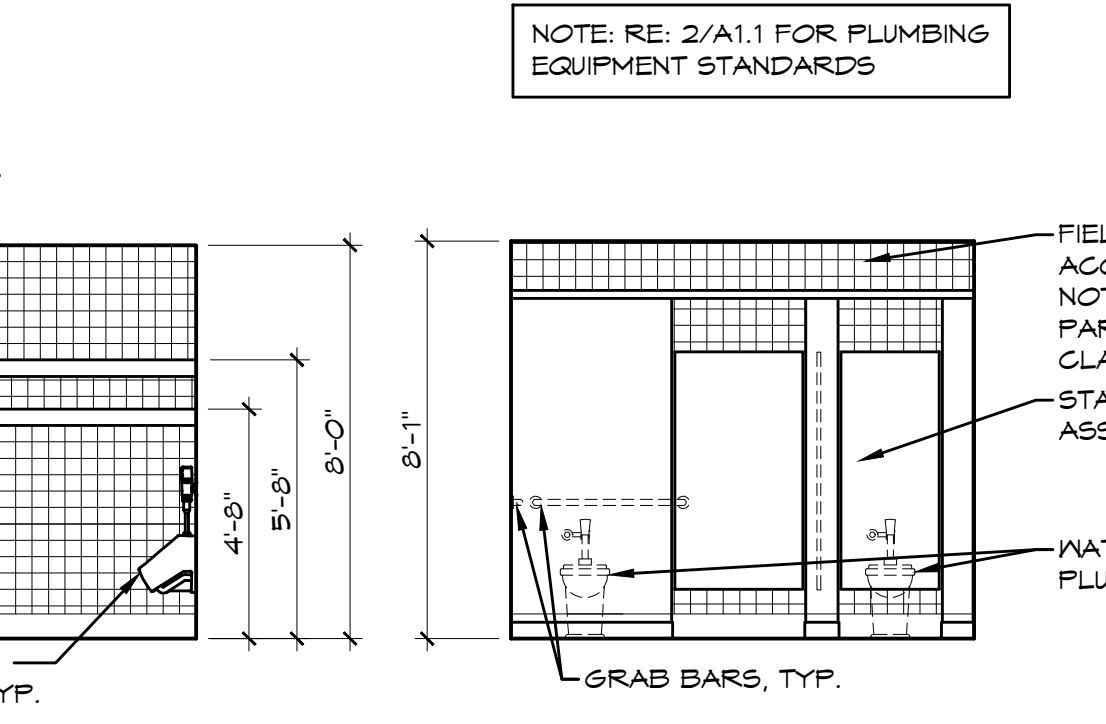
14 WOMENS RESTROOM 105
 SCALE: 1/4" = 1'-0"



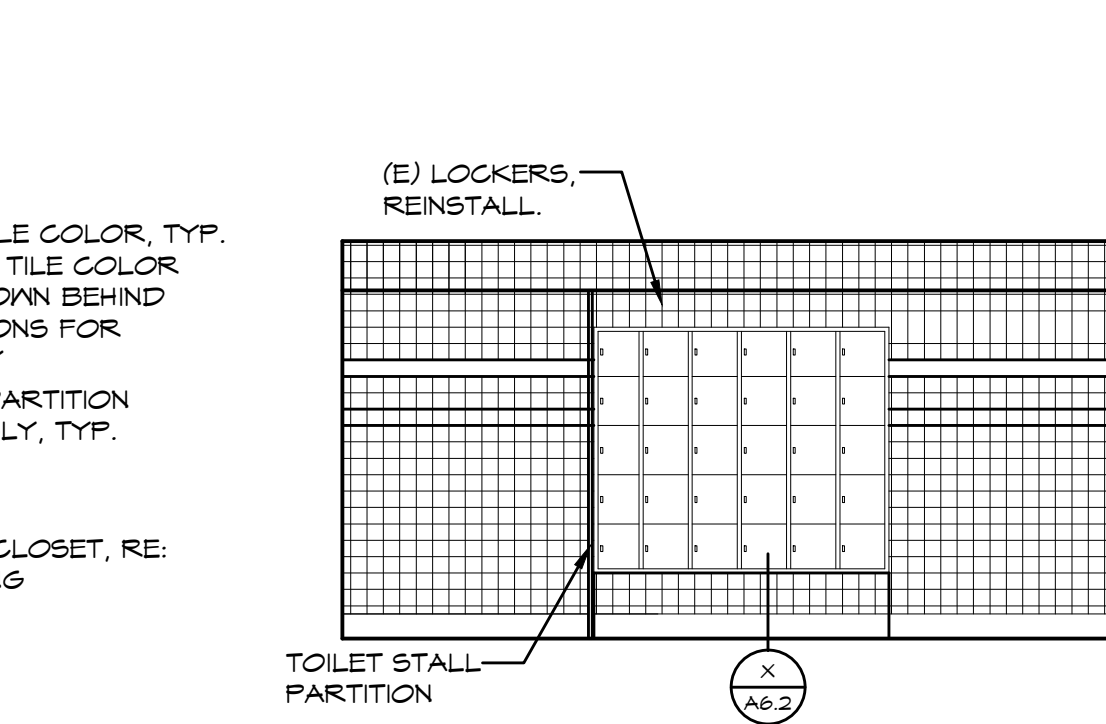
15 MENS RESTROOM 207
 SCALE: 1/4" = 1'-0"



16 MENS RESTROOM 207
 SCALE: 1/4" = 1'-0"

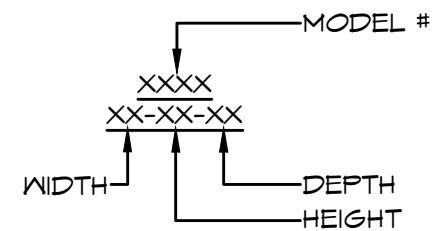


17 WOMENS RESTROOM 206
 SCALE: 1/4" = 1'-0"



18 MENS RESTROOM 207
 SCALE: 1/4" = 1'-0"

ALL CASEWORK BASED ON MODEL NUMBERS AND SIZES FROM LSI CORP.



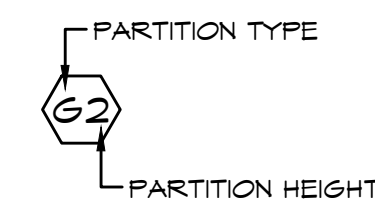
PARTITION TYPES

SCALE: 1/2"=1'-0"

A	B	C	D	E
-1 LAYER 5/8" TYPE 'X' GYP BD @ DRY SIDES, 5/8" TYPE 'X' NET BOARD @ NET SIDES -3-5/8" 25 GA. MTL STUD @ 16" O.C. -PROVIDE 3-1/2" ACOUSTIC BATT INSUL. * AT ALL CORRIDOR SIDES -USE 5/8" HIGH IMPACT TYPE 'X' GYP. BD. ON 20 GA MTL STUD	-1 LAYER 5/8" TYPE 'X' GYP BD EA. SIDE OF -3-5/8" 25 GA. MTL STUD @ 16" O.C. -PROVIDE 3-1/2" ACOUSTIC BATT INSUL. * AT ALL CORRIDOR SIDES -USE 5/8" HIGH IMPACT TYPE 'X' GYP. BD. ON 20 GA MTL STUD	-1 LAYER 5/8" TYPE 'X' GYP BD EA. SIDE OF -6" 20 GA. MTL STUD @ 16" O.C. -PROVIDE 5-1/2" ACOUSTIC BATT INSUL. * AT ALL CORRIDOR SIDES -USE 5/8" HIGH IMPACT TYPE 'X' GYP. BD. ON 20 GA MTL STUD	-1 LAYER 5/8" TYPE 'X' GYP BD @ DRY SIDES -3-5/8" 20 GA. MTL STUD @ 16" O.C. -PROVIDE 3-1/2" ACOUSTIC BATT INSUL. -5/8" TYPE 'X' -MOISTURE RESISTANT CEMENT BOARD @ NET SIDES - CERAMIC TILE -CONCRETE CURB @ NET WALLS * AT ALL CORRIDOR SIDES -USE 5/8" HIGH IMPACT TYPE 'X' GYP. BD.	-3-5/8" 20 GA. MTL STUD @ 16" O.C. -PROVIDE 3-1/2" ACOUSTIC BATT INSUL. -5/8" TYPE 'X' -MOISTURE RESISTANT CEMENT BOARD @ NET SIDES -CERAMIC TILE -CONCRETE CURB @ NET WALLS * AT ALL CORRIDOR SIDES -USE 5/8" HIGH IMPACT TYPE 'X' GYP. BD. ON 20 GA MTL STUD
F	G	H	I	J
-CERAMIC TILE -1 LAYER 5/8" TYPE 'X' GYP BD EA. SIDE OF -6" 20 GA. MTL STUD @ 16" O.C. -PROVIDE 3-1/2" ACOUSTIC BATT INSUL. -EXISTING MASONRY WALL * AT ALL CORRIDOR SIDES -USE 5/8" HIGH IMPACT TYPE 'X' GYP. BD.	-1 LAYER 5/8" TYPE 'X' GYP BD EA. SIDE OF -4" 25 GA. MTL STUD @ 16" O.C. -PROVIDE 3-1/2" ACOUSTIC BATT INSUL. * AT ALL CORRIDOR SIDES -USE 5/8" HIGH IMPACT TYPE 'X' GYP. BD.	-1 LAYER 5/8" TYPE 'X' MOISTURE RESISTANT GYP BD -3-5/8" 20 GA. MTL STUD @ 16" O.C. -PROVIDE 3-1/2" ACOUSTIC BATT INSUL. -5/8" TYPE 'X' -MOISTURE RESISTANT CEMENT BOARD @ NET SIDES -CERAMIC TILE * AT ALL CORRIDOR SIDES -USE HIGH IMPACT TYPE 'X' GYP. BD.	-(E) MASONRY WALL -3/8"-3/4" MORTAR BED, ONE SIDE -CERAMIC TILE, ONE SIDE	-(E) MASONRY WALL -3/8"-3/4" MORTAR BED, ONE SIDE -CERAMIC TILE, BOTH SIDES

PARTITION HEIGHT

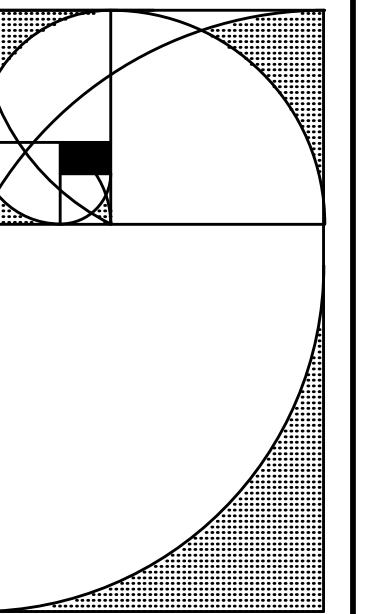
- 1 = EXTEND TO UNDERSIDE OF STRUCTURE RE. @ GYP. BD. DTL 5 1/4" O
- 2 = EXTEND TO 4" ABOVE FINISH CEILING -RE: DTL. X/A6.2.
- 3 = EXISTING- WALL FINISH TO UNDERSIDE OF CEILING



NOTE:
PARTITION TYPES DO NOT DEFINE EXTENT OF FIRE RATED PARTITIONS. EACH PARTITION MAY BE FIRE RATED IN ONE LOCATION AND NON-RATED IN ANOTHER.

SEE CODE STUDY FOR LOCATION OF FIRE RATINGS AT ALL PARTITION TYPES.

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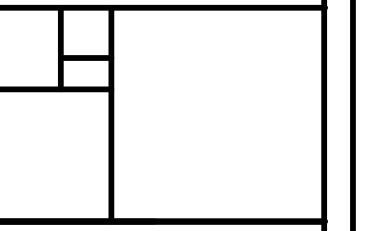


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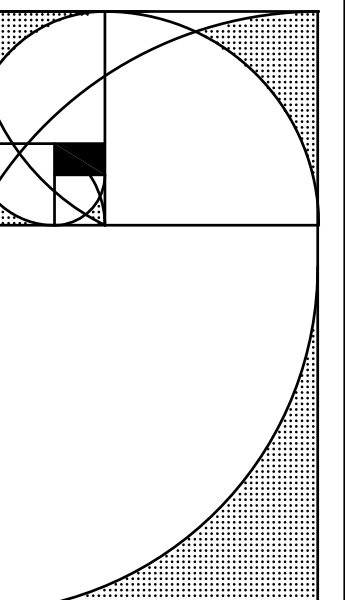
DATE:
PROJECT NO: 14101B
ISSUE:
50%
CONSTRUCTION DOCUMENTS

DRAWN: KS-LZ
CHECKED: RET
FILE NAME: A6.3_XT4DTL

DWG NAME:
WALL TYPES & DETAILS



SHEET NO:
A6.3



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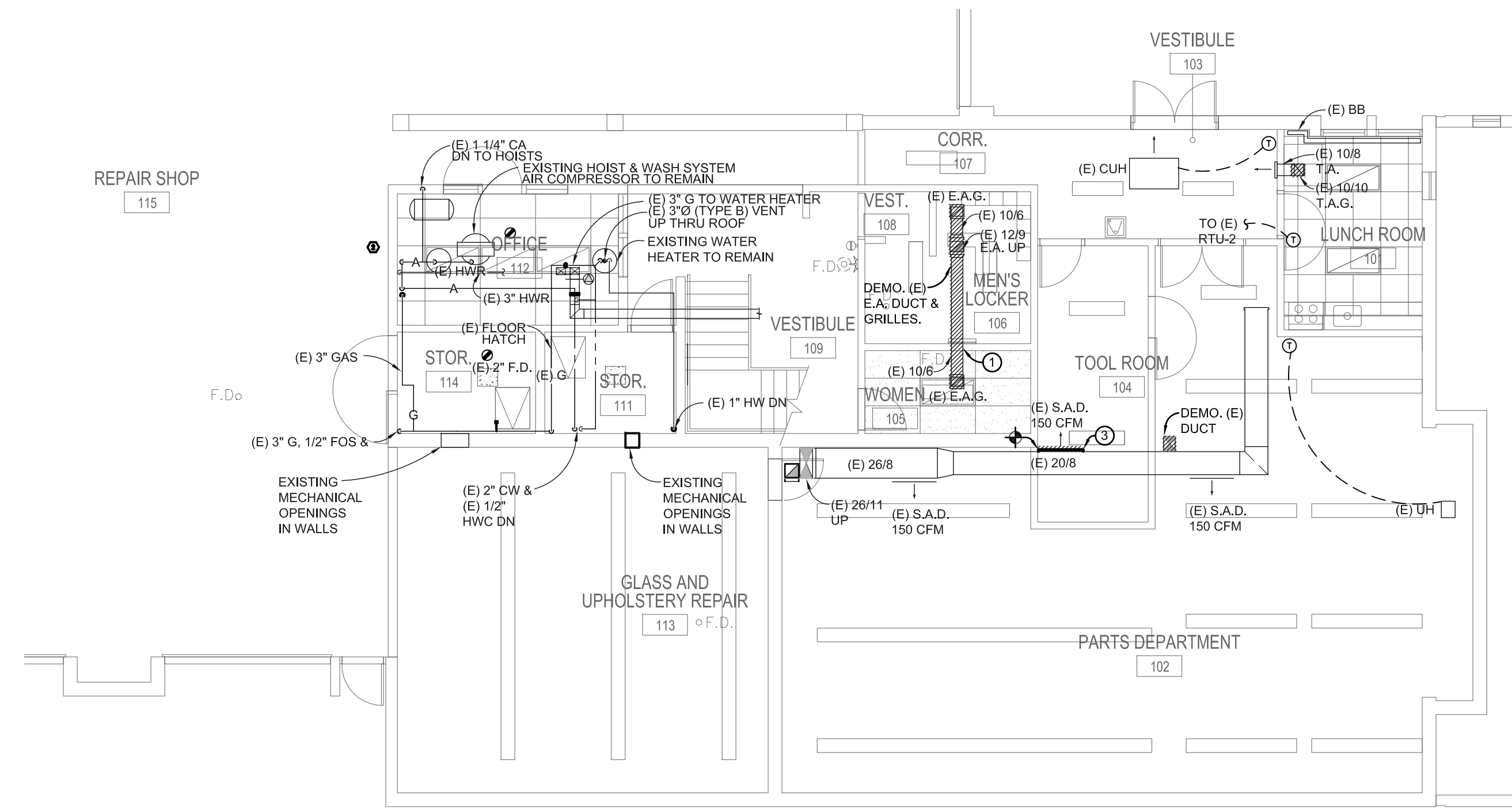
McGRATH (ENGINEERING/CONSTRUCTION MANAGEMENT)
 11500 PINE STREET
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 1303 WEST SHARPSHOOTER SUITE 500
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DATE: MAR. 17, 2014
PROJECT NO: 14101B
ISSUE:
SCHEMATIC DESIGN

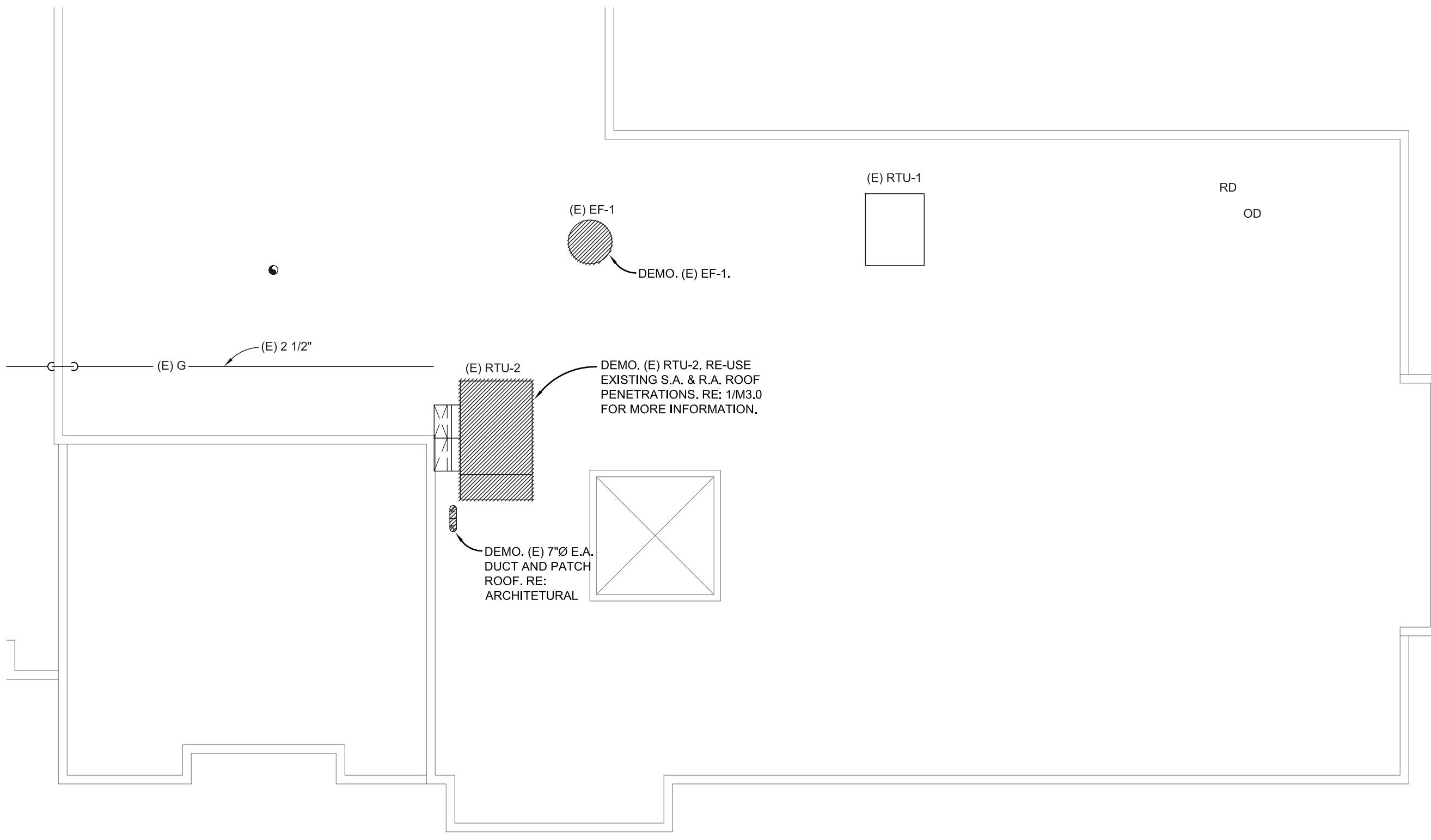
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CHECKED: KLA
FILE NAME:

DWG NAME:
HVAC DEMOLITION PLANS

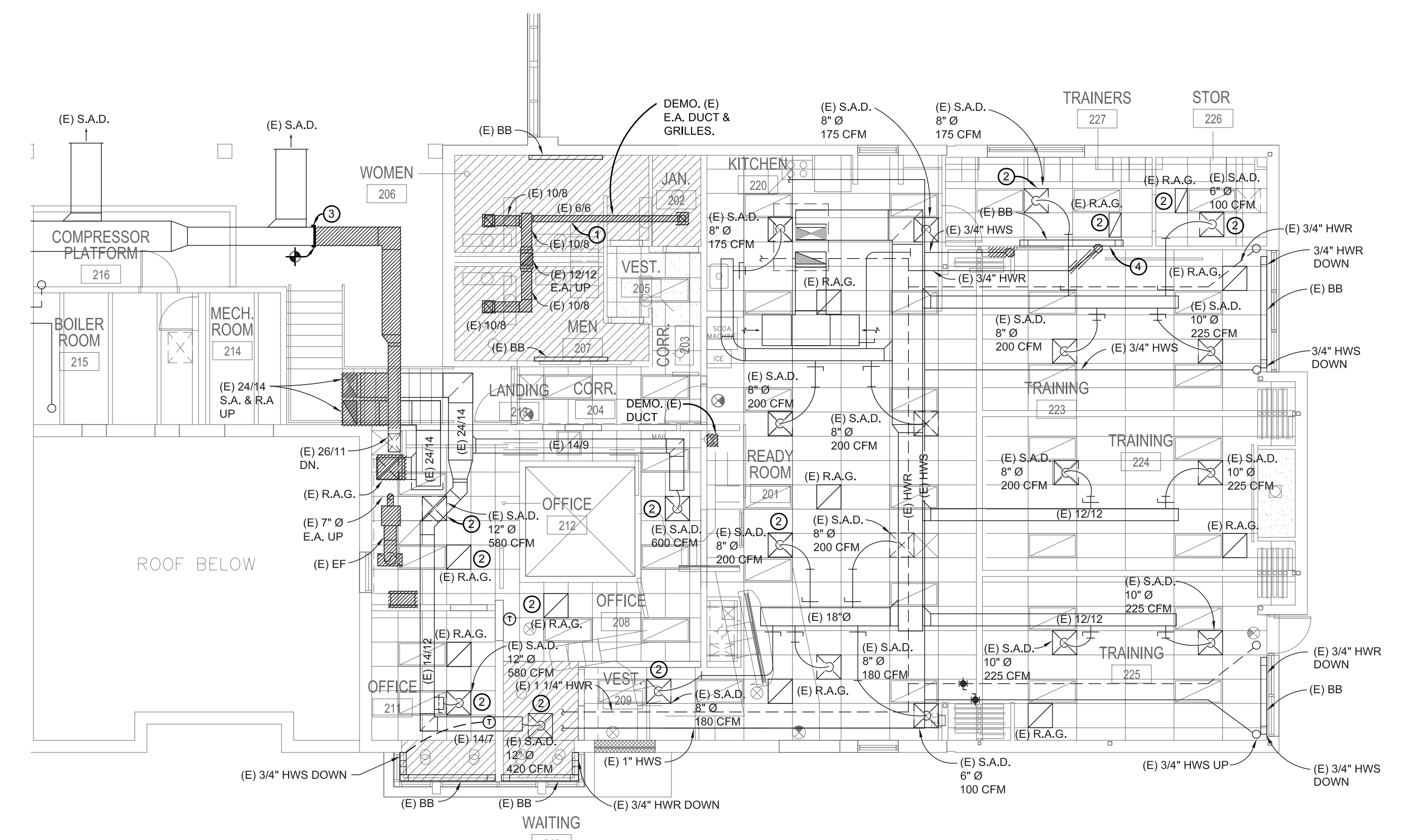
SHEET NO:
M1.0



1 FIRST FLOOR HVAC DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"



1 ROOF HVAC DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

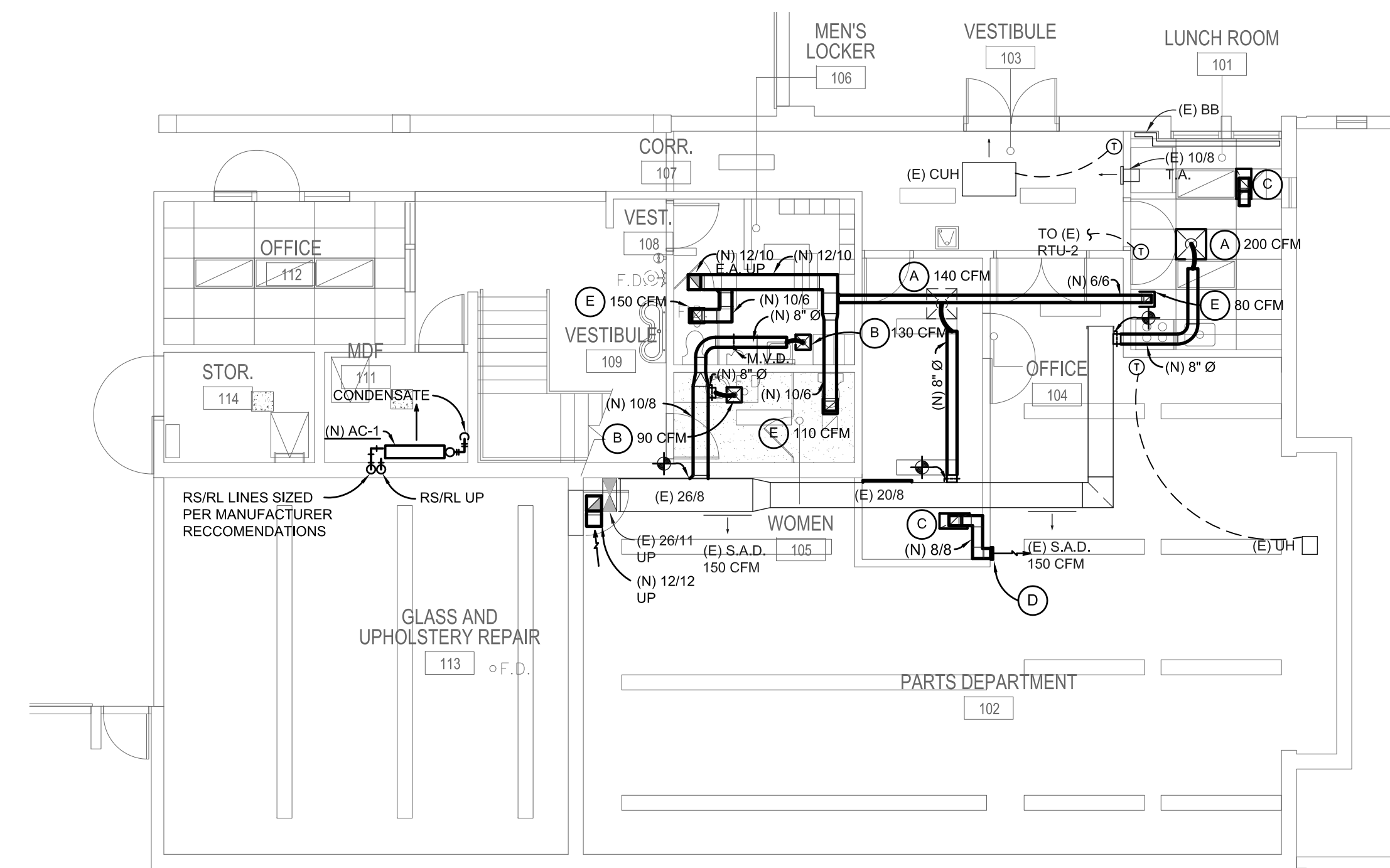


1 SECOND FLOOR HVAC DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

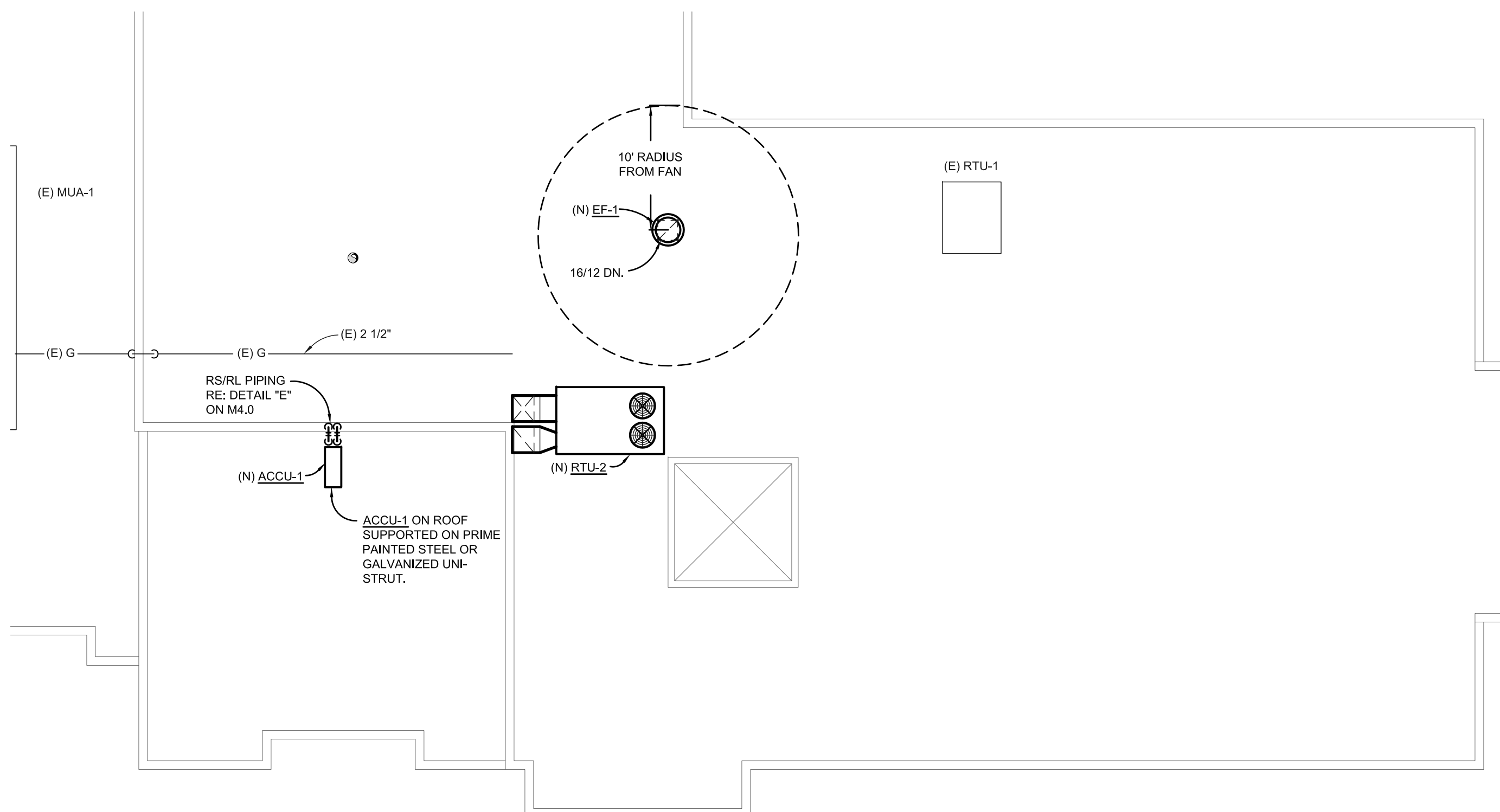


DEMOLITION KEY NOTES

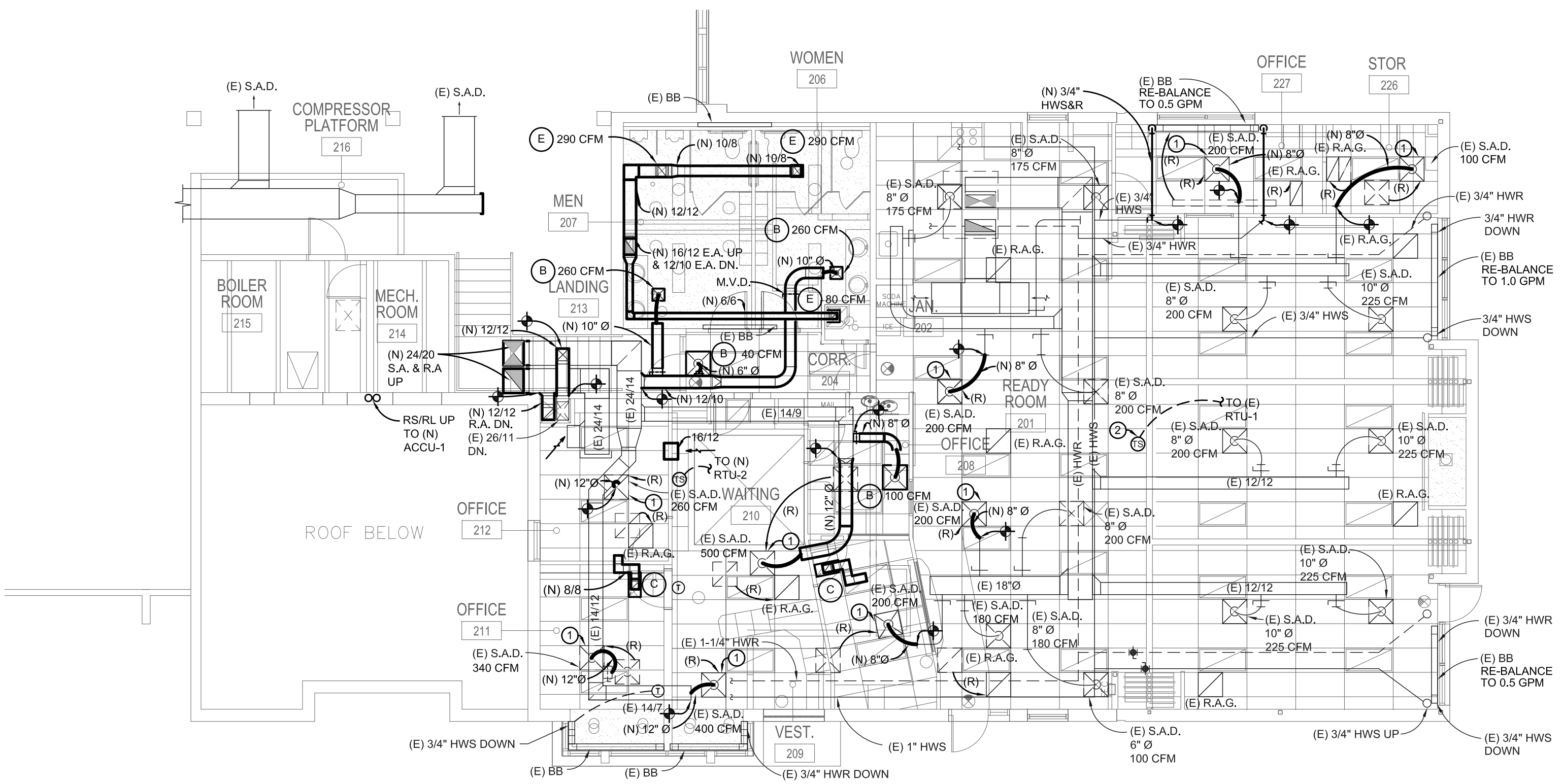
- ① DEMOLISH AND REMOVE EXISTING RUN OUT DUCTS, FLEXIBLE DUCT AND DIFFUSER.
- ② RELOCATE EXISTING DIFFUSER/ GRILLE TO LOCATION INDICATED ON HVAC CONSTRUCTION PLAN 1/M2.0. EXISTING FLEX DUCT SHALL NOT TO BE RE-USED.
- ③ PATCH AND SEAL DUCT AIR TIGHT.
- ④ RELOCATE EXISTING BASEBOARD TO LOCATION INDICATED ON HVAC CONSTRUCTION PLAN 1/M2.0.



1 FIRST FLOOR HVAC CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"



1 ROOF HVAC CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"



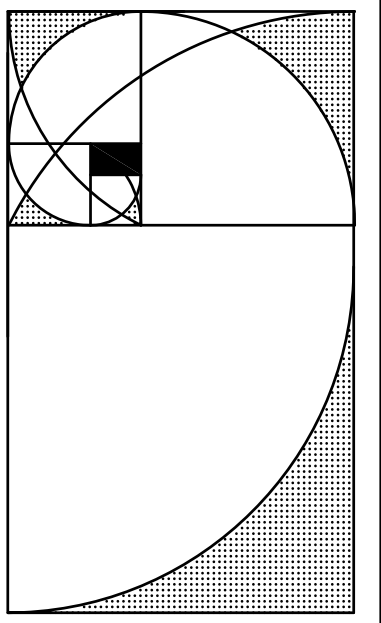
1 SECOND FLOOR HVAC CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"

NEW WORK KEY NOTES

1. CONNECT RELOCATED DIFFUSER TO EXISTING SUPPLY BRANCH AND REBALANCE GRILLE TO CFM INDICATED. PROVIDE NEW FLEX DUCT AS NECESSARY. EXISTING FLEX DUCT SHALL NOT TO BE RE-USED.
2. PROVIDE NEW THERMOSTAT FOR (E) RTU-1. DISCONNECT AND REMOVE EXISTING THERMOSTAT CONNECTED TO (E) RTU-1.

GENERAL NOTES

1. IN THE EVENT THE CONTRACTOR ENCOUNTERS WHAT HE SUSPECTS TO BE HAZARDOUS CONDITIONS, HE SHALL STOP WORK AND CONTACT THE OWNER/ARCHITECT IMMEDIATELY.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOR RESOLUTIONS.
3. ITEMS INDICATED WITH AN (R) SHALL BE RELOCATED, CLEANED, RECONDITIONED, REBALANCED, REFURBISHED, REINSTALLED & ASSOCIATED TERMINAL UNIT SHALL BE REBALANCED WHERE APPLICABLE.
4. REUSE EXISTING GRILLES WHERE IT IS POSSIBLE TO RELOCATE & REINSTALL.



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RENOVATION FOR:
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TRANSPORTATION SERVICE CENTER
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ROOFTOP UNIT SCHEDULE

CODE	MANUFACTURER AND MODEL NO.	SERVICE	SUPPLY FAN DATA				DX COOLING COIL DATA				HEATING SECTION				ELECTRICAL DATA			ACCESSORIES AND REMARKS								
			CFM AT ALTITUDE	MINIMUM O.A. CFM	E.S.P. (IN. W.C.) AT S.L.	HP	MAXIMUM FACE VEL. (FPM)	MAXIMUM A.P.D. (IN. W.C.)	ENTERING AIR TEMP. (F) DB	LEAVING AIR TEMP. (F) WB	DB	WB	DB	WB	CAPACITY (MBH)	MINIMUM SEER PER ARI 210/240	TYPE		GAS PRESS. RANGE	ENTERING AIR TEMP. (F) DB	LEAVING AIR TEMP. (F) WB	INPUT (MBH) AT S.L.	VOLTAGE/PHASE	M.C.A.	M.O.C.P.	OPERATING WEIGHT (LBS.)
(N) RTU-2	MCQUAY DCG120	TSC FIRST & SECOND FLOORS	3,600	350	0.65"	2-1/2	500	0.4	79.4	62	58.7	53.3	97.3	11.3	NATURAL GAS	3.5" - 13.5"	60.0	-	106.7	-	210	208/3	48.2	60	1,140	① ② ③ ④

- NOTES: ① PROVIDE WITH MANUFACTURER'S 2" (30%) T.A. FILTERS, ECONOMIZER, POWER EXHAUST, STAINLESS STEEL HEAT EXCHANGER, POWERED CONVENIENCE OUTLET, HINGED DOORS, CURB ADAPTER.
 ② APPROVED MANUFACTURERS: TRANE, MCQUAY, CARRIER, AAO, ENGINEERED AIR, AND JOHNSON CONTROLS (YORK).
 ③ PROVIDE WITH UL 508 CONFORMING WATER LEVEL DETECTION DEVICE IN CONDENSATE DRAIN PAN.
 ④ DUCT SMOKE DETECTOR REQUIRED. PROVIDED BY ELECTRICAL CONTRACTOR INSTALLED BY MECHANICAL CONTRACTOR IN RETURN AIR DUCT.

GRILLES, REGISTERS & DIFFUSER SCHEDULE

CODE	MANUFACTURER AND MODEL NO.	SERVICE	INSTALLATION TYPE	FACE SIZE	NECK SIZE	VOLUME DAMPER	FINISH	MATERIAL	REMARKS
(A)	PRICE PLQ	SUPPLY	SURFACE	24"x24"	8" Ø	NO	WHITE	STEEL	
(B)	PRICE PLQ	SUPPLY	SURFACE	12"x12"	SEE PLANS	NO	WHITE	STEEL	
(C)	PRICE PDDR	RETURN	SURFACE	24"x12"	8"x8"	NO	WHITE	STEEL	
(D)	PRICE 530	TRANSFER	SURFACE	10"x10"	8"x8"	NO	WHITE	STEEL	
(E)	PRICE 80	EXHAUST	SURFACE	12"x12"	6"	YES	WHITE	STEEL	

- NOTES: ① PROVIDE WITH

FAN SCHEDULE

CODE	MANUFACTURER AND MODEL NO.	SERVICE	TYPE	CFM AT ALTITUDE	T.S.P. (IN. W.C.)	ELECTRICAL DATA			OPERATING WEIGHT (LBS.)	REMARKS
						HP (WATTS)	R.P.M.	VOLTS/Ø		
(N) EF-1	COOK ACE-B-120	FIRST & SECOND FLOOR TOILETS	ROOF	1,000	0.5"	1/6	1,725	120/1	55	① ②

- NOTES: ① PROVIDE WITH GRAVITY BACKDRAFT DAMPER ② INTERLOCK WITH (N) RTU-2.

DUCTLESS MINI-SPLIT SYSTEM UNIT SCHEDULE

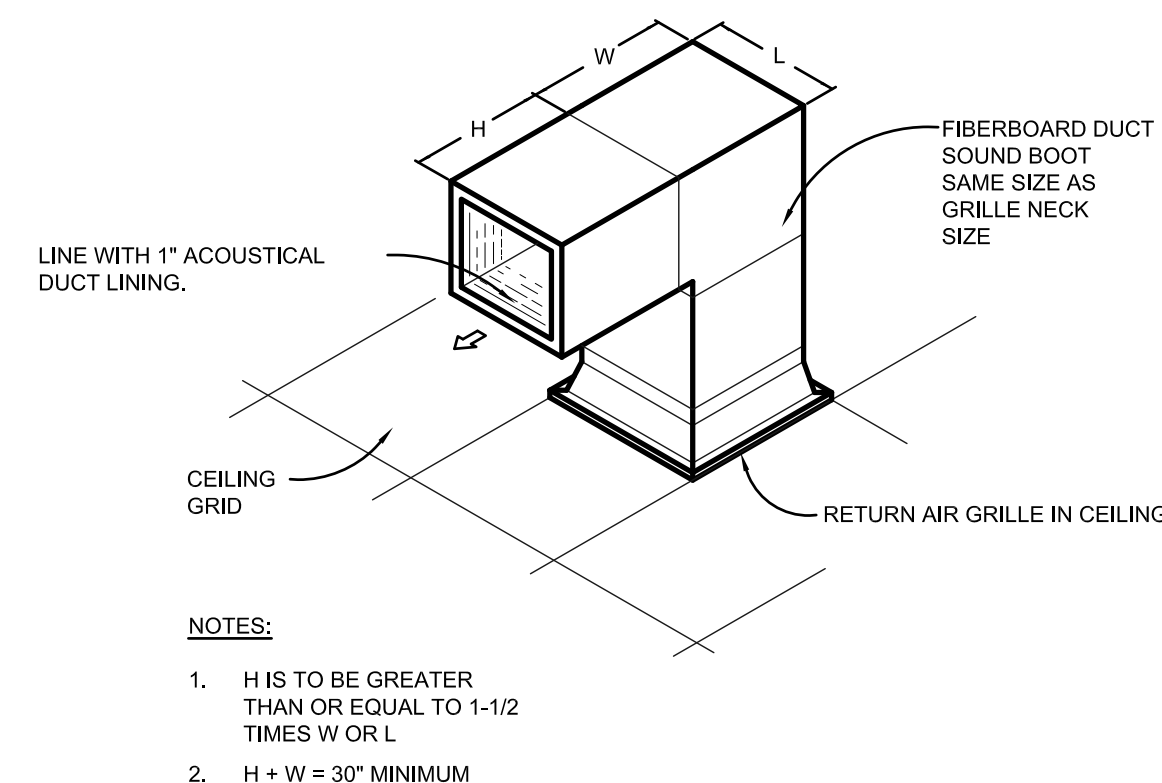
CODE	MANUFACTURER AND MODEL NO.	SERVICE	NOMINAL COOLING CAPACITY (BTUH)	INDOOR UNIT DATA					OUTDOOR UNIT DATA			ELECTRICAL DATA		REMARKS			
				CFM AT SEA LVL	HP	A.P.D. (IN. W.C.)	E.A.T. (F)	L.A.T. (F)	CAPACITY (MBH)	UNIT OPER. WEIGHT (LBS.)	O.A. TEMP. (F)	REFRIGERANT PIPE SUCTION LINE SIZE	LIQUID LINE SIZE		UNIT OPER. WEIGHT (LBS.)	VOLTAGE / PHASE	M.C.A.
(N) AC-1 / (N) ACCU-1	DAIKIN FTXS36LVJU / DAIKIN RKS36LVJU	MDF ROOM	36,000	770	25 w	0.25	80.0	47.0	22,890	38	95	5/8"	3/8"	179	②	②	① ③ ④ ⑤ ⑥

- NOTES: ① PROVIDE LOW AMBIENT CONTROL TO -0 DEGREES F. WINTER START KIT, CRANKCASE HEATER, AND WIND BAFFLE.
 ② INDOOR UNIT: 208V-3PH, NA MCA, NA MOC.P. OUTDOOR UNIT: 208V-3PH, 19.5 MCA, 20 MOC.P.
 ③ REFRIGERANT R410-A
 ④ PROVIDE WITH WIRED ROOM CONTROL.
 ⑤ PROVIDE WITH CONDENSATE PUMP.
 ⑥ PROVIDE WITH WALL MOUNTING KIT.

REFRIGERANT DATA

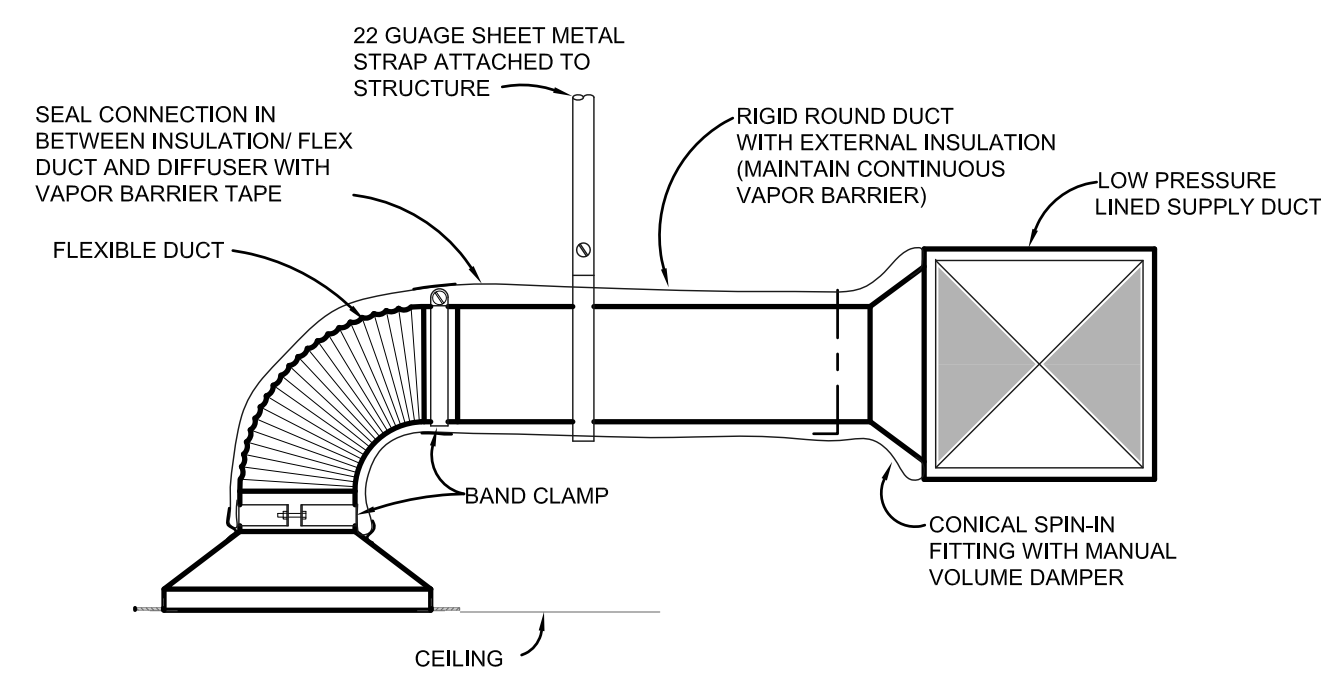
CODE	MANUFACTURER AND MODEL NO.	REFRIGERANT TYPE / QTY.	LOCATION
(N) EF-1	LENNOX #CBX26UH-036	R-410A / 2.5 LBS.	INDOORS
(N) ACCU-1 & PIPING	LENNOX #CBX26UH-036	R-410A / 3.7 LBS.	OUTDOORS

ROOM VOLUME EQUALS 560 CU.FT. MAX. ALLOWABLE QUANTITY IN A SINGLE INDEPENDENT CIRCUIT PER 2012 IMC, TABLE 1103.1 IS 25.0 LB./1000 CU. FT. SYSTEM DOES NOT EXCEED THAT ALLOWED BY CODE.

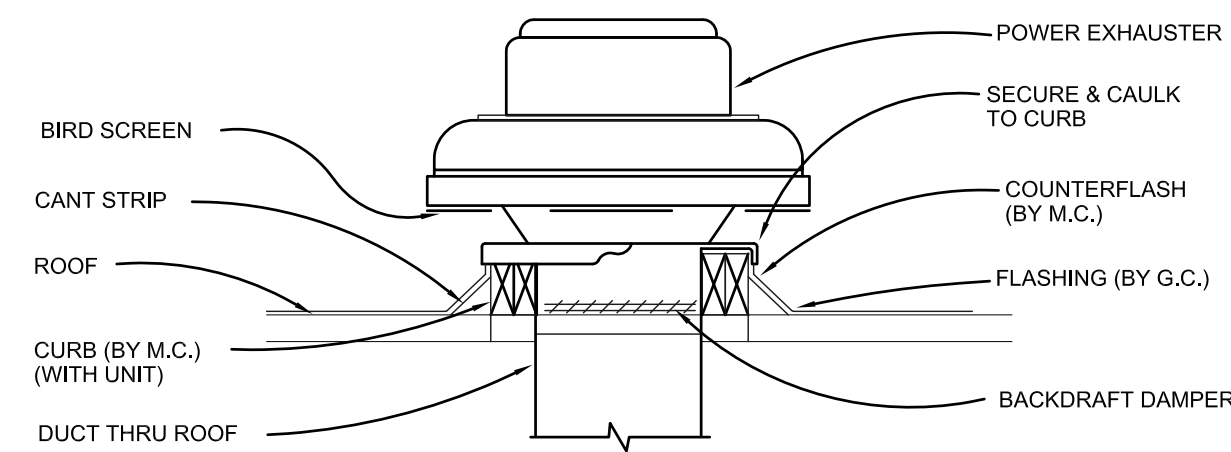


- NOTES:
 1. H IS TO BE GREATER THAN OR EQUAL TO 1-1/2 TIMES W OR L
 2. H + W = 30" MINIMUM

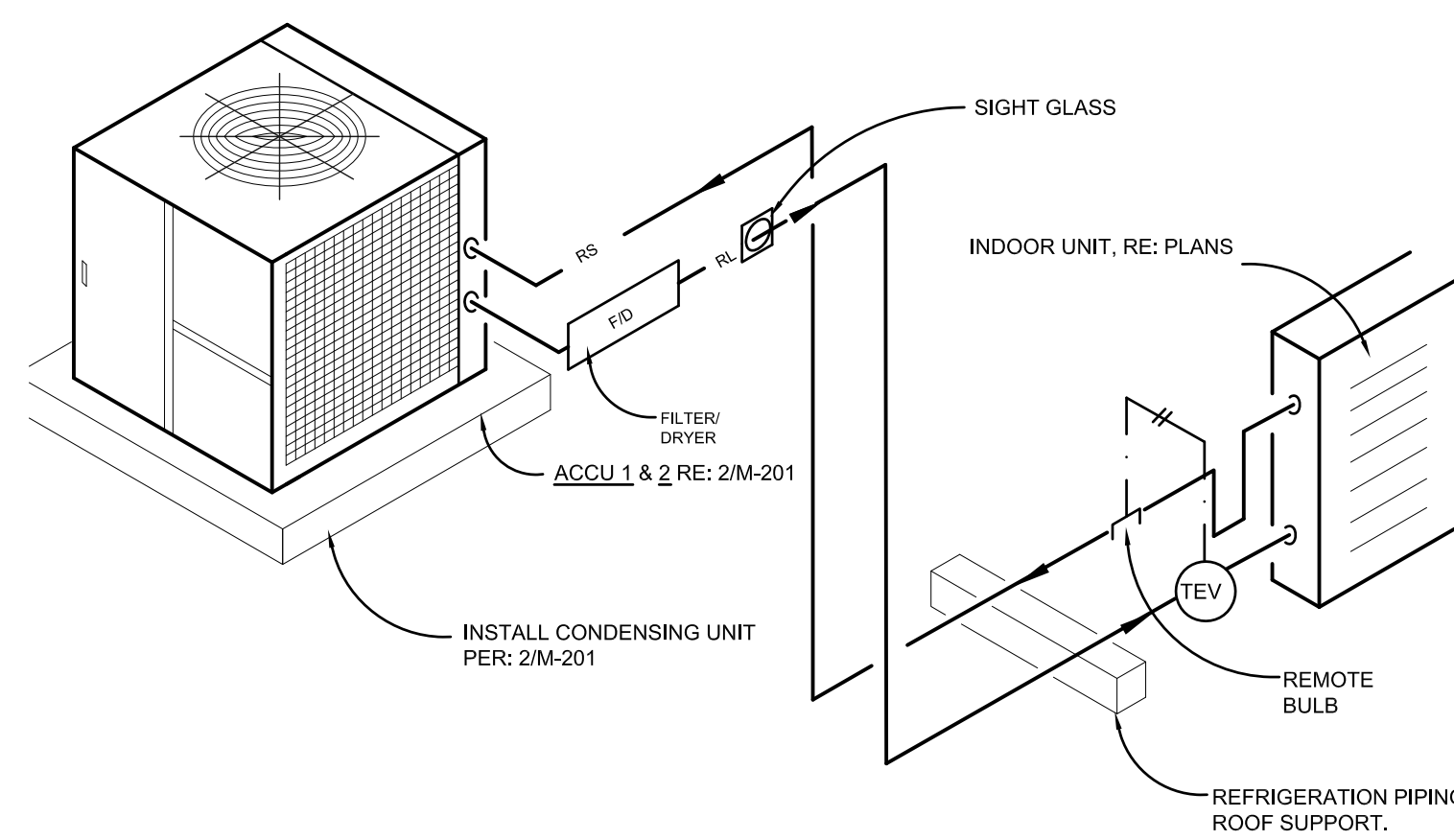
(D) RETURN AIR GRILLE SOUND BOOT DETAIL
 M4.0 N.T.S.



(A) DIFFUSER DETAIL
 M4.0 N.T.S.

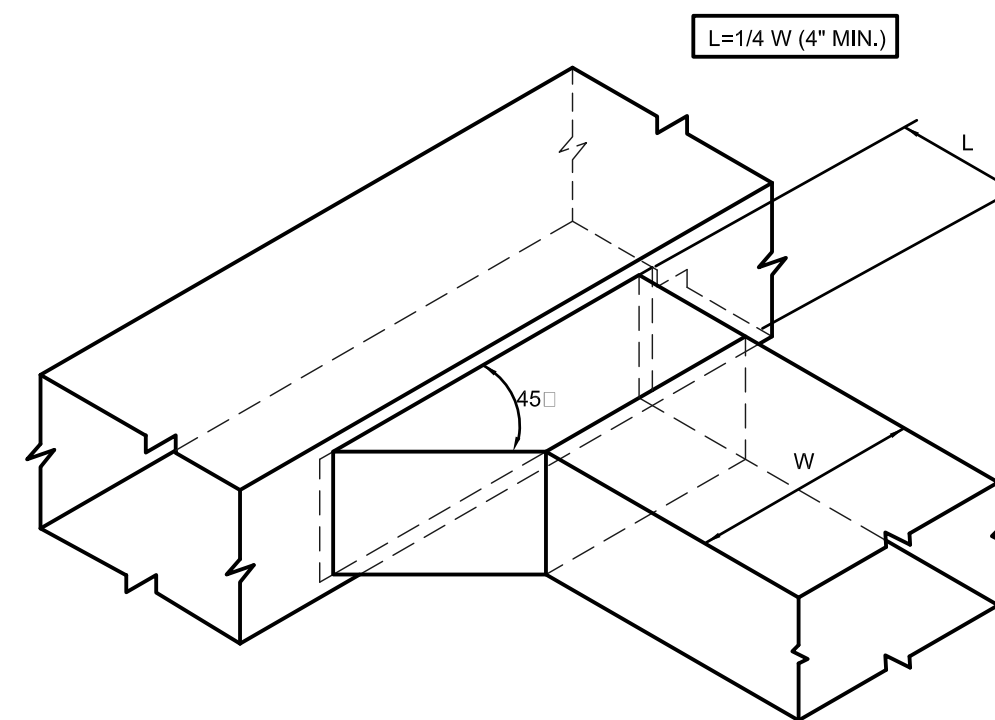


(B) EXHAUST FAN DETAIL
 M4.0 N.T.S.

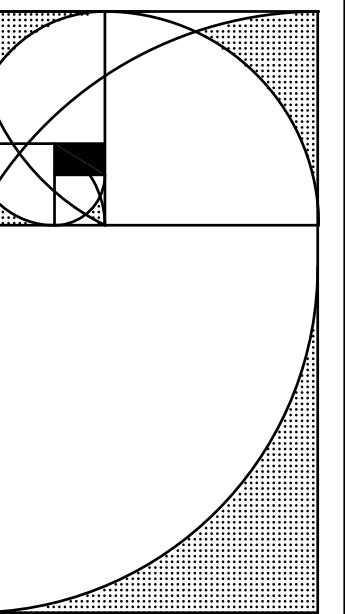


- NOTE:
 1. REFRIGERANT PIPING IS SCHEMATIC ONLY. DESIGN AND SIZE PER THE MANUFACTURER'S RECOMMENDATIONS. THIS CONTRACTOR IS TO PROVIDE ALL SPECIALTIES INCLUDING OIL TRAPS, SPECIALTIES, PIPE SIZES, THERMAL EXPANSION VALVE (TEV), ETC. TO ENSURE PROPER OPERATION AND CONFORMANCE WITH WARRANTIES.
 2. IF UNIT IS SUPPLIED FROM THE MANUFACTURER WITH A PUMP DOWN CYCLE, THE DIVISION 15 CONTRACTOR SHALL INSTALL THE SOLENOID VALVE.

(E) CONDENSING UNIT PIPING DETAIL
 M4.0 N.T.S.



(C) 45 DEGREE TAKE-OFF DETAIL
 M4.0 N.T.S.



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